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BEFORE THE HEARING EXAMINER OF THE CITY OF MERCER ISLAND

In Re The Appeal of:

STEPHEN STRONG AND LORRI
FALTERMAN,

Appellants,

v.

CITY OF MERCER ISLAND,

Respondent,

No. APL22-002

DECLARATION OF LINDA PINEAU
IN SUPPORT OF CITY OF MERCER
ISLAND’S MOTION TO DISMISS
WITH PREJUDICE

I, Linda Pineau, declare and state:

1. I am over the age of eighteen years, not a party to this action, and competent to testify herein.

2. I serve as a Permit Center Supervisor for the City of Mercer Island. I have held this position since June 1, 2020.

3. I am generally familiar with the appeal submitted by Stephen Strong and Lorri Falterman giving rise to this appeal matter APL 22-002.

4. On October 26, 2021, Carly Bird-Vogel submitted a building permit application, which was assigned permit application number 2110-247. A true and correct copy

of that application is attached to this declaration as Exhibit A. I note that even though the date
DECLARATION OF LINDA PINEAU IN SUPPORT OF
CITY OF MERCER ISLAND’S MOTION TO DISMISS - 1



14205 SE 36th Street
Suite 100, PMB 440
Bellevue, WA 98006
Phone: 425-201-5111
www.MadronaLaw.com

1 on the application is listed as October 14, 2021, the application was not submitted to the City
2 until after business hours on October 25, 2021, therefore resulting in an intake date of October
3 26, 2021.

4 5. On June 7, 2022, the last reviewer of the permit application signed off on the
5 permit. A true and correct copy of the approved permit is attached to this declaration as
6 Exhibit B.

7 6. On June 10, 2022, I emailed the applicant to let them know their permit had
8 been approved. A true and correct copy of that email is attached to this declaration as Exhibit
9 C.

10 7. On June 10, 2022, I also emailed Appellant Stephen Strong a notice of decision
11 of approval of building permit 2110-247, as Mr. Strong was a party of record. A true and
12 correct copy of that email is attached to this declaration as Exhibit D.

13 8. On July 11, 2022, Mr. Strong sent me two emails with a pdf copy of an appeal
14 of building permit no. 2110-247. True and correct copies of these two emails are attached to
15 this declaration as Exhibits E and F, respectively.

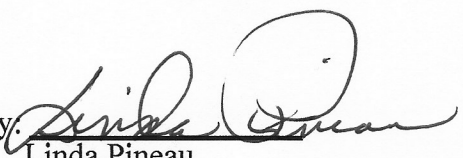
16 9. The City Clerk, Andrea Larson, was not included or copied on Mr. Strong's
17 July 11, 2022 emails. Exs. E-F.

18 10. Mr. Strong did not pay the appeal fee on July 11, 2022. Instead, he did not pay
19 the appeal fee until July 18, 2022.

20 I declare under penalty of perjury under the laws of the state of Washington that the
21 foregoing is true and correct.

22 DATED this 27th day of July, 2022 at Issaquah, Washington.

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By: 
Linda Pineau

DECLARATION OF LINDA PINEAU IN SUPPORT OF
CITY OF MERCER ISLAND'S MOTION TO DISMISS - 3



MADRONA
LAW GROUP, PLLC

14205 SE 36th Street
Suite 100, PMB 440
Bellevue, WA 98006
Phone: 425-201-5111
www.MadronaLaw.com

EXHIBIT – A

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercerisland.gov

Inspection Requests: Online: www.mybuildingpermit.com VM: 206.275.7730



PERMIT APPLICATION

A P P L I C A N T	SITE ADDRESS* 4304 E Mercer Way		PROJECT VALUATION (REQUIRED)* \$1,400,000		PERMIT #	
	PROPERTY OWNER: * Carly Bird-Vogel TENANT NAME:		ADDRESS* 4304 E Mercer Way		PHONE 206-930-9807 E-MAIL* carly.birdvogel@gmail.com	
	APPLICANT CONTACT NAME* Karen Kline		ADDRESS 3309 Wallingford Ave N		PHONE 206-728-0480 E-MAIL* karen@mccarch.com	
	ARCHITECT / DESIGNER (Company/Name) McClellan Architects		ADDRESS 3309 Wallingford Ave N		PHONE 206-728-0480 E-MAIL* karen@mccarch.com	
	STRUCTURAL ENGINEER (Company/Name) Gary Gill S.E.		ADDRESS 1125 NE 152nd St		PHONE 206-992-2728 E-MAIL* gill26608@yahoo.com	
	CONTRACTOR(Company/Name) Mercer Builders		ADDRESS 3026 78th Ave SE		PHONE 206-275-1234 E-MAIL*	
	STATE CONTRACTOR LICENSE #*: MERCEBL942J7		MI BUSINESS LICENSE #*:			
	ELECTRICAL CONTRACATOR (Company/Name)		ADDRESS		PHONE E-MAIL*	
	STATE CONTRACTOR LICENSE #*:		MI BUSINESS LICENSE #*:			
	PLUMBING CONTRACTOR (Company/Name)		ADDRESS		PHONE E-MAIL*	
STATE CONTRACTOR LICENSE #*:		MI BUSINESS LICENSE #*:				
<i>*Required</i>						
PERMIT TYPE	<input checked="" type="checkbox"/> Building <input type="checkbox"/> Demolition <input type="checkbox"/> Electrical <input type="checkbox"/> Fire Protection <input type="checkbox"/> Fuel Tank <input type="checkbox"/> Grading	<input type="checkbox"/> Low Voltage <input type="checkbox"/> Mechanical <input type="checkbox"/> Plumbing <input type="checkbox"/> Stormwater <input type="checkbox"/> Site Development	OCCUPANCY TYPE	<input checked="" type="checkbox"/> SINGLE FAMILY <input type="checkbox"/> MULTI FAMILY <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> MIXED USE <input type="checkbox"/> CHRUCH/SCHOOL	WORK TYPE	<input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input checked="" type="checkbox"/> NEW <input type="checkbox"/> REPAIR
Briefly Describe Proposed Scope of Work (REQUIRED):						
The proposed scope of work includes the removal of the existing two-story single family residence and the construction of a new two-story single family residential development at 4304 E Mercer Way.						
The proposed 4536 SF home has been oriented on the site to reuse the existing driveway and minimize the need for tree removal.						
Will your project result in (all questions must be answered):						
A change of use				YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	
New Single Family dwelling				YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	
A reduction in any existing side yard setback				YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	
An increase in impervious surface by more than 100 square feet				YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	
An increase in the gross floor area of more than 500 square feet				YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	
An increase in the maximum building height above the highest point of the building				YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	

Continued on next page

NOTICE TO APPLICANT

Applications for which no permit is issued within 18 months shall expire. Once issued, building permits shall expire if work is not completed within two years from date of issue. Electrical, mechanical, and plumbing permits shall expire at the same time as the associated building permit except that if no associated building permit is issued, the electrical, mechanical and/or plumbing permit shall expire 180 days from issuance.

All work shall be done in accordance with the approved plans, except where such approval is in conflict with other codes. The approved plans shall not be changed or modified without the prior approval of the Building Official. It is the responsibility of the permittee to obtain the required inspections. Failure to notify this department that work is ready for inspection may necessitate the removal of some of the construction materials at the owner's expense in order to perform such inspections. All provisions of laws and ordinances governing this type of work will be met whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction of the performance of construction.

I hereby certify that I am the owner of the subject property or I have been authorized by the owner(s) of the subject property to represent this application, and that I have read and examined this application and know the same to be true and correct. Also, I have received authorization to utilize all contractor license information provided within this application and have been informed about contractor license laws (RCW 18.27, RCW 18.106, etc.), and the potential risks and monetary liability to the homeowner for using an unregistered contractors (general, plumbing, electrical, etc.). Further information can be obtained at 1-800-647-0982.



10/14/2021

Karen Kline, McClellan Architects

Signature of Owner/Contractor/Authorized Agent

DATE

Printed Name of Owner/Contractor/Authorized Agent

EXHIBIT – B

CITY OF MERCER ISLAND
DEVELOPMENT SERVICES GROUP
9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:
online:



voice mail:
(206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:
Applicant is to complete the following information.
Applicant Contact information prior to permit issuance: Applicant Contact information post permit issuance:
Name: Karen Kilne, McClellan Architects Name: Karen Kilne, McClellan Architects
Address: 3309 Wallingford Ave N Seattle, WA 98103 Address: 3309 Wallingford Ave N Seattle, WA 98103
Phone: (206) 728-0480 Phone: (206) 728-0480
Email: karen@mccarch.com Email: karen@mccarch.com

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:
It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observations (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below. All Special Inspectors (except Geotechnical) must be WA80 certified.
When Special Inspection or Structural Observation is required, the report shall be submitted to the City Building Inspector prior to the City inspection. Note: Inspection by the City Inspector is required in addition to the Special Inspection or Structural Observation indicated below. Do not cover or conceal any work prior to the City inspection.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR):
Engineer of Record: Gary Gill, S.E. Company: Gary Gill, S.E. Phone: (206) 992-2728
 General Conformance to Construction Documents Other:

SOILS / GEOTECHNICAL:
Special Inspector: Marc McGinnis Company: Geotechnical Consulting Inc. Phone: (425) 747-5618
 Erosion control measures Subsurface drainage placement
 Shoring installation and monitoring Verify fill material and compaction
 Observe and monitor excavation Rockery installation
 Verification of soil bearing Pile placement (auger cast/driven pile)
 Other: Other:

REINFORCED CONCRETE:
Special Inspector: Jerry Anderson Company: AAR Phone: (425) 881-5812
 Concrete strength Retaining wall construction
 Reinforcing steel and concrete placement Prestressed / Precast construction
 Shotcrete placement Other:
 Other: Other:

STRUCTURAL STEEL (RCW 19.08.020):
Special Inspector: Jerry Anderson Company: AAR Phone: (425) 881-5812
 Fabrication and shop welds Moment Frame construction
 Structural steel erection, field welds and bolting Other:
 Other: Other:

STRUCTURAL MASONRY:
Special Inspector: Company: Phone:
 Mortar strength Glass unit masonry installation
 Masonry unit strength Wall panel and veneer installation
 Other: Other:
 Other: Other:

WOOD:
Special Inspector / Engineer of Record: Company: Phone:
 Lateral resisting system construction High strength diaphragm construction
 Other: Other:

OTHER SPECIAL INSPECTIONS:
Special Inspector: Company: Phone:
 Epoxy grout installations Stucco installation
 Expansion anchor installations Infiltration System
 Other post installed anchors Exterior Insulation Finish System (EIFS) installation
 Alternative construction methods: Other:
 Alternative construction materials: Other:

DEFERRED SUBMITTALS:
The Applicant is required to submit all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses Post tension layout
 Metal joist / metal trusses Exterior cladding
 Premanufactured structures (stairs, etc.) Window wall / curtain wall construction
 Precast concrete elements Other:
 Other: Other:

ENERGY CODE COMPLIANCE INFORMATION:
Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (REPC) Form into the drawing set.

Building envelope: WEC TAB 403.2.1 G1.0 Air Leakage Testing: WEC TAB 403.2.2.1 WA 98040000
 Whole house ventilation: WEC TAB 403.2.2.2 G1.0 Provide air leakage test report verifying air leakage rate does not to exceed 5 air changes per hour.
 Energy Credit Information: WEC TAB 406.2 G1.0 Duct Leakage Testing: WEC TAB 403.2.2.2
 REPC Form information: Attached Postconstruction Test: WEC TAB 403.2.2.2
 (If incorporated within drawing set) Rough-in Test: WEC TAB 403.2.2.2
(http://www.mercergov.org/Files/0328060808/eng/040908.pdf)

FILE NAME: DSG CVR 2016 24x36.PDF

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

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TO BE COMPLETED BY DSG

PROJECT ALERTS:
Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.

Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including:
• Site Considerations • ROW restrictions • Additional Fire Code Requirements
• Hours of Work • Drainage Requirements • Planning Requirements
• Construction Vehicle Parking Restrictions • Sewer Requirements • Noise Abatement Certification
• Access Road Requirements • Water Service Requirements • Tree Requirements
 Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements.
 Temporary site address with minimum 6" high numbers visible from the street must be installed.
 Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work.
 A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.

TREE PROTECTION REQUIREMENTS:
 Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.
 No trees shall be cut without a City of Mercer Island tree permit.
 Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection.
 For this project, 2 trees are authorized to be removed and replaced with 4 trees.
 This project appears to be within a protected eagle nest area. Contact: Federal Fish and Wildlife at (360) 534-9304 or visit their website at <http://www.fws.gov/species/eagle>

FIRE PROTECTION REQUIREMENTS:
Required Permits are required for ALL fire protection systems. For more information, see <http://www.mercergov.org/Page.asp?NAVID=2614>
 Fire Sprinkler Separate Permit Required Monitored Household Fire Alarm per NFPA 72
 NFPA 13D PIs NFPA 13R Sounders must activate upon water flow Monitored Sprinkler Water Flow Alarm
 Other:
 Approved Fire Code Alternatives: FCA3
 FCA2 FCA4

WATER SUPPLY REQUIREMENTS:
 Fire sprinkler design calculations must be provided prior to determining water supply system requirements.
 Water supply system upgrade required
 City installation.
 Applicant installation.
Required Service Line Size: 2" Required Supply Line Size: 2" Required Meter Size: 1-1/2"
(water main to meter)
 Abandonment of existing service and meter required at main.
 Pressure reducing valve required if pressure exceeds 80 psi.
 Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation).
 Additional water supply requirements:

DRAINAGE REQUIREMENTS:
 On site detention system required. Direct discharge into the lake, w/ easement, video inspection
 On site infiltration system required. No Storm Water permit required.
 As-built Utility drawings required. Connection to public storm drainage conveyance system req'd.
 Full Size drawings required. Other:

SEWER REQUIREMENTS:
 Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.
 Video tape of existing sewer required (see standard details)
 New connection. Connect to existing. Disconnect permit required. Reconnect permit required.
 Other:
Note: When side sewer is to be connected to the lake line you will need to schedule three (3) days in advance with the City of Mercer Island Maintenance Department at (206) 275-7800.

APPROVED CODE ALTERNATIVES:
Code alternatives must be inspected. Refer to the Inspection Checklist
 CA1: CA2:

SURVEY REQUIREMENTS (The following survey information must be submitted when checked):
Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.
Surveyor: _____ Phone: _____
 Building height survey
 Building setback survey
 Impervious surface survey
 Other:

MAXIMUM 40 PERCENT ALTERATION INSPECTION: WEC TAB 403.2.2.3
A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730.
 Civil / Drainage LUP / Setback requirements

GEOTECHNICAL INFORMATION:
Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.
 Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.
Marc McGinnis, Geotechnical Engineer, Phone: (425) 747-5618

SEASONAL DEVELOPMENT LIMITATION RESTRICTION:
 Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.
 Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.
Permit number _____ Approved by _____ Date _____

REQUIRED CONSTRUCTION INSPECTIONS:

It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at www.MyBuildingPermit.com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) in advance of desired inspection. Be specific as to type of inspection.

Inspector Date: _____
 Pre-construction Meeting to Review Conditions of Permit Approval.
 Tree protection
 Erosion control
 Sewer disconnect and cap. If applicable, separate side-sewer permit required
 Right-of-way use or work / easement, material delivery, etc. If applicable, separate ROW permit required
 Land clearing, grading and demolition
 Temporary power
 Piling / Shoring / Shotcrete. If applicable, provide survey letter (property line); Geotechnical Engineer / Special Inspector reports of inspections (pile and shoring installation, etc.)
 Footings, setbacks, UFER ground. If applicable, provide survey letter (building height and setbacks); Special Inspector reports of inspections (soil bearing capacity, compaction, earthwork, pile installation, etc.)
 Foundation walls / concrete columns
 Roof and footing drains
 Foundation dampproofing
 Storm drainage, including (but not limited to):
• Connections to storm main in ROW
• Area of drains
• Conveyance piping / cleanouts
• Storm drain in ROW
• Control structures / manholes
• Pump systems
• Oil-water separator, tees
• Retaining wall drainage
 Water Service
 Water Supply
 Water as-built drawings
 Side sewer installation, including (but not limited to):
• Connections to side sewer main
• Back-flow valves
• Grinder pump systems
• Sewer manholes
 Connections to existing sewer main
 Or driveway / Access road
 Side sewer
 Under slab electrical / mechanical / plumbing
 Under slab insulation / vapor barrier / reinforcing
 Under floor framing
 Nailing-Roof sheathing. If applicable, provide Special Inspection letter for lateral wood inspection.
 Nailing-Exterior wall and Shearwall. If applicable, provide Special Inspection letter for lateral wood inspection.
 Rough hydroonic installation
 Rough electric installation
 Rough fire alarm (wiring inspection)
 Rough plumbing installation (DWV, water)
 Rough mechanical
 Gas Piping
 Rough fire sprinkler / hydrostatic and flow (bucket) test
 Framing and glazing. If applicable, provide Special Inspection letter for lateral wood inspection, welding epoxy anchors, etc.
 Masonry construction (fireplace / walls / veneer / etc.)
 Insulation installation
 Stucco (paper and lath)
 shower pan (or tub)
 Miscellaneous
 Code Alternative CA1:
 Code Alternative CA2:
 Impact Fees Paid (If applicable)

Final Inspection: Tree Restoration TT
 Final Inspection: Fire protection, including (but not limited to):
• Sprinkler Fuel Tank Installation
• Access Road Fire Extinguishing System
• Fire Code Alternatives (see below) Fire Alarm System
 FCA1: FCA3:
 FCA2: FCA4:
 Final Inspection: Water supply protection, including (but not limited to):
backflow devices for:
• Well water on property
• Fire / lawn sprinkler
• Boiler
 Final Inspection: Site and utility: includes landscape, utilities and ROW. Site restoration complete and as-built drawings ready for submittal.
 Final Inspection: Building, including electrical / mechanical / plumbing. If applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO)
Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.

Approved _____ Start Date _____ End Date _____
Additional Required City Inspections:
Call the appropriate contact to arrange the inspection.
Required inspection(s): _____ Contact: _____ Phone: _____ Scheduling: _____

IMPACT FEES: If applicable Impact fees apply and are due prior to Final Inspection or on _____ whichever occurs first.
PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.
 GR Building AJ Planning RD Engineering JK Fire JH Fire
REVISION: JULY 2019

PERMIT NUMBER
21110-247

CERTIFICATE OF OCCUPANCY
Issued after all required inspections have been performed and approved.

PROJECT NAME:
Bird McDonald Residence
PROJECT ADDRESS:
4304 E Mercer Way

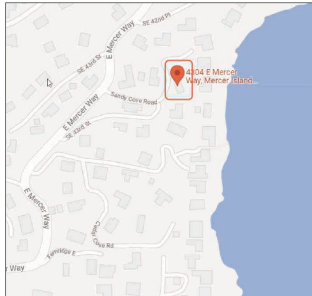
APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES
REVIEWED FOR CODE COMPLIANCE
6/17/22
GR Approved

BIRD MCDONALD RESIDENCE

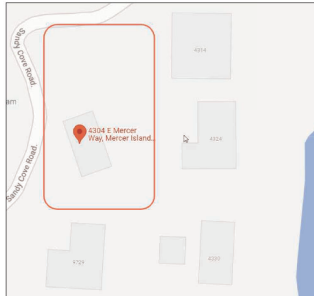
PERMIT SET



CONCEPTUAL PROJECT IMAGE



VICINITY MAP



SITE

ENERGY/MECHANICAL CODE COMPLIANCE:

- 1) WORK TO COMPLY WITH THE 2018 WSEC AND 2018 IMC.
 - 2) ALL GLAZING AND DOORS TO MEET MAXIMUM 0.30 U-FACTOR PER THE 2018 WSEC PRESCRIPTIVE UNLIMITED GLAZING REQUIREMENTS. REFER TO SHEET A6.1 FOR WINDOW SCHEDULE.

VERTICAL GLAZING (U):	0.30
OVERHEAD GLAZING (U):	0.50
DOOR (U):	0.30
CEILING:	R38 ADV. or R-49
VAULTED CEILING:	R-38
WALL ABOVE GRADE:	R-21 INT
WALL INT. BELOW GRADE:	R-21 TB
WALL EXT. BELOW GRADE:	R-10
FLOOR:	R-30
SLAB ON GRADE:	R-10
 - 3) A MINIMUM OF 75 PERCENT OF ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY PER WAC 51-11R.
 - 4) PERMANENTLY MOUNTED EXTERIOR LIGHTS FIXTURES WILL BE HIGH EFFICACY UNLESS EQUIPPED WITH BUILT-IN PHOTO CONTROL SENSOR PER WSEC 505.2.
 - 5) ALL BATHROOMS AND TOILET ROOMS TO BE EQUIPPED WITH A MINIMUM 50 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN. ALL KITCHENS TO BE EQUIPPED WITH A MINIMUM 100 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN PER IRC M 1507.4.
 - 6) INTERMITTENT WHOLE HOUSE VENTILATION TO BE PROVIDED PER IRC M1507.3.
 - 7) HEAT PUMP:
HVAC DESIGN TO INCLUDE AIR SOURCE HEAT PUMP (ENERGY CREDIT 1) 1.0 CREDITS
 - 8) EFFICIENT BUILDING ENVELOPE:
MODIFIED VERTICAL FENESTRATION U = 0.28
FLOOR R-38
SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB, BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB (ENERGY CREDIT 1.3) 0.5 CREDITS
 - 9) AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION:
REDUCE THE TESTED AIR LEAKAGE TO 1.5 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS (ENERGY CREDIT 2.3) 1.5 CREDITS
 - 10) HIGH EFFICIENCY HVAC:
AIR SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF 11.0 (ENERGY CREDIT 3.5) 1.5 CREDITS
 - 11) HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM:
DUCT LEAKAGE SHALL BE LIMITED TO 3CFM PER 100 SF OF CONDITIONED FLOOR AREA,
AIR HANDLER SHALL BE LOCATED WITHIN THE CONDITIONED SPACE,
SEE ADDITIONAL REQUIREMENTS PER WSEC TABLE 406.3 (ENERGY CREDIT 4.1) 0.5 CREDITS
 - 12) EFFICIENT WATER HEATING:
WATER HEATING SYSTEM SHALL INCLUDE ENERGY STAR RATED GAS WATER HEATER WITH A MINIMUM UEF OF 0.91 (ENERGY CREDIT 5.3) 1.0 CREDITS
- TOTAL ENERGY CREDITS = 6.0 REQUIRED**
BASED ON TABLE R406.2 FOR MEDIUM DWELLING UNIT.
ENERGY SELECTIONS FROM WSEC TABLE R406.3.

PROJECT DATA:

PARCEL NUMBER: 1824059113

PROJECT ADDRESS:
4304 E MERCER WAY
MERCER ISLAND, WA 98040

LOT SIZE: 16,878 SF (0.39 ACRES)

ZONE: R-15

CONSTRUCTION TYPE: VB

AUTOMATIC SPRINKLER SYSTEM:
NFPA 13R SYSTEM REQUIRED.
SEE PROPOSED FIRE CODE ALTERNATIVES

ENVIRONMENTALLY CRITICAL AREAS: NONE

PROJECT DESCRIPTION:
SCOPE OF WORK INCLUDES REMOVAL OF THE EXISTING TWO STORY SINGLE FAMILY RESIDENCE AND CONSTRUCTION OF A NEW TWO STORY SINGLE FAMILY RESIDENCE

REQUIRED YARDS:
FRONT YARD = 20 FT
REAR YARD = 25 FT
SIDE YARDS = 8.075 FT EACH
(95 X 0.17 = 16.15 / 2 = 8.075)

BUILDING HEIGHT:
MAX BUILDING HEIGHT = 30 FT
MEASURED FROM THE AVERAGE ELEVATION OF EXISTING GRADE AROUND THE BUILDING.
PROPOSED BUILDING HEIGHT, SEE A3.1-A3.2

PROJECT GROSS SQUARE FOOTAGE:
MEASURED FROM EXTERIOR WALLS.
INCLUDES UNHEATED AREAS.

GROSS SQUARE FOOTAGE = 4,536 SF
UPPER LEVEL 2,476 SF
LOWER LEVEL 2,060 SF

SHEET LIST:

- GENERAL:**
G0.0 TITLE SHEET
G0.1 GENERAL CONDITIONS + ABBREVIATIONS
SURVEY
- CIVIL:**
C1.0 TESC AND TREE RETENTION PLAN
C1.2 TESC DETAILS
C2.0 DRAINAGE PLAN
C2.1 DRAINAGE PLAN
C3.5 BMP
- ARCHITECTURAL:**
D1.1 SITE DEMOLITION PLAN
A0.1 ZONING DIAGRAMS
A0.2 TREE PLAN
- A1.1 SITE PLAN
A2.1 FOUNDATION PLAN
A2.2 LOWER LEVEL PLAN
A2.3 UPPER LEVEL PLAN
A2.4 CLERESTORY PLAN
A2.5 ROOF PLAN
- A3.1 BUILDING ELEVATIONS
A3.2 BUILDING ELEVATIONS
- A4.1 BUILDING SECTIONS
A4.2 BUILDING SECTIONS
- A5.1 WALL ASSEMBLIES
A5.2 FLOOR ASSEMBLIES
A5.3 ROOF ASSEMBLIES
- A6.1 WINDOW & DOOR SCHEDULE
A6.2 WINDOW & DOOR SCHEDULE
- A8.1 EXTERIOR DETAILS
A8.2 EXTERIOR DETAILS
A8.3 EXTERIOR DETAILS
A8.4 EXTERIOR DETAILS
- STRUCTURAL:**
S1.0 GENERAL NOTES
S2.1 BASEMENT PLAN
S2.2 FIRST FLOOR FRAMING PLAN
S2.3 LOWER ROOF FRAMING PLAN
S2.4 ROOF FRAMING PLAN
S3.1 FOUNDATION DETAILS
S4.1 FRAMING DETAILS
S4.2 FRAMING DETAILS

PROJECT:
BIRD MCDONALD RESIDENCE
4304 E MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
CARLY BIRD-VOGEL & PAUL MCDONALD
4304 E MERCER WAY
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SUBMISSION 2021-10-25

PERMIT CORRECTION 2022-02-24

PERMIT CORRECTION 2022-03-27



DATE:
MARCH 27, 2022

SHEET TITLE:
TITLE SHEET

SHEET:

GO.0

LEGAL DESCRIPTION:

POR GL 1 BEG AT PT ON WLN OF SW 1/4 OF NE 1/4 120 FT N OF NW COR OF TR 1 ADAMS LAKE WASH TRS TH S 88-26-18 E 1504.56 FT TO PT IN CEN OF E MERCER WAY TH S 17-42-42 W 89.20 FT TH S 88-47-23 E 293.19 FT TO TPOB TH N 25-09-08 E 59.40 FT TH ALG CURVE TO LEFT RAD 87.5 FT DIST OF 78.74 FT TH ALG REVERSE CURVE TO RT RAD 37.5 FT DIST OF 76.34 FT TH ON COMP CURVE TO RGT RAD 66.75 FT DIST OF 104.48 FT TH S 01-12-37 W 113.18 FT TH N 88-47-23 W 119.44 FT TO TPOB TGW 1/3 INT IN 25 FT STRIP SHOWN AS BEACH & SH LDS ADJ TGW 1/10 INT IN PRIVATE RDWAY

CONTACT INFORMATION:

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CONTRACTOR:
MERCER BUILDERS
3026 78th Ave SE
MERCER ISLAND, WA 98040
(206) 275-1234
THOM.SCHULTZ@MERCERBUILDERS.COM

PROJECT RESIDENCE

PERMIT SET

ABBREVIATIONS:

ABV	ABOVE	IBC	INTERNATIONAL BUILDING CODE
ACQUST	ACOUSTIC, ACOUSTICAL	INSUL	INSULATION
ACCY	ACCESSORY	INT	INTERIOR
ADDIM	ADDITIONAL	JB	JUNCTION BOX
ADDL	ADJUSTABLE	JNT	JOINT
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
AFG	ABOVE FINISHED GRADE	MATL	MATERIAL
ALT	ALTERNATE, ALTERNATIVE	MAX	MAXIMUM
ALUM	ALUMINUM	MDO	MEDIUM DENSITY OVERLAY
ANCH	ANCHOR	MDF	MEDIUM DENSITY FIBER BOARD
APPROX	APPROXIMATELY	MECH	MECHANICAL
ARCH	ARCHITECT, ARCHITECTURAL	MFR	MANUFACTURER
BB	BASEBOARD	MIN	MINIMUM
BLDG	BUILDING	MO	MASONRY OPENING
BLKG	BLOCKING	MTL	METAL
BLW	BELOW	N	NORTH
BM	BEAM	(N)	NEW
B/O	BOTTOM OF	NIC	NOT IN CONTRACT
BRD	BOARD	NTS	NOT TO SCALE
BTW	BETWEEN	OCCUP	OCCUPANTS, OCCUPANCY
CAB	CABINET	OL	OCCUPANCY LOAD
CALC	CALCULATION	OC	OVER
CL	CENTERLINE	OPN	OPENING
CJNT	CONTROL JOINT	OPP	OPPOSITE
CLS	CELLING	ORD	OVERFLOW ROOF DRAIN
CLR	CLEAR	PNT	PAINT
CMU	CONCRETE MASONRY UNIT	PEN	PENETRATION
CNTR	COUNTER, COUNTER SUNK	PERP	PERPENDICULAR
COL	COLUMN	PJ	PANEL JOINT
CONC	CONCRETE	PL	PROPERTY LINE
CONT	CONTINUOUS	PLAM	PLASTIC LAMINATE
CORR	CORRIDOR	PLWD	PLYWOOD
CPT	CAP	PAIR	PAIR
CT	CERAMIC TILE	PRELIM	PRELIMINARY
CTR	CENTER	PTN	PRESSURE TREATED PARTITION
DBL	DOUBLE	R	RISER
DEG	DEGREE	REC	RECOMMENDED
DEPT	DEPARTMENT	REF	REFERENCE
DIA	DIAMETER	REFR	REFRIGERATOR
DIM	DIMENSION	REINF	REINFORCED
DISP	DISPENSER	REQD	REQUIRED
DN	DOWN	RET	RETAINING
DS	DOWN SPOUT	R O	ROUGH OPENING
DW	DISHWASHER	S	SOUTH
DWG	DRAWING	SC	SCHEDULE
E	EAST	SCHED	SCHEDULE
EA	EACH	SCWD	SOLID CORE WOOD
ELEV	ELEVATION	SF	SQUARE FEET, SQUARE FOOT
ENGR	ENGINEER	SG	SAFETY GLAZING
EQUIP	EQUIPMENT	SHTG	SHEATHING
EXP	EQUIVALENT	SIM	SIMILAR
EXP	EXPANSION, EXPOSED	SPEC	SPECIFICATION
EXST	EXISTING	SQ	SQUARE
FAB	FABRICATE	SS	STAINLESS STEEL
FD	FLOOR DRAIN	STD	STANDARD
FDN	FOUNDATION	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FEC	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FF	FINISH FLOOR	T	TEMPERED SAFETY GLASS
FIN	FINISH	T&B	TOP AND BOTTOM
FLR	FLOOR	TEMP	TEMPORARY
FT	FEET, FOOT	T&G	TONGUE AND GROOVE
FTG	FOOTING	THRU	THROUGH
FUR	FURRING, FURRED	TO	TOP
FV	FIELD VERIFY	TOM	TOP OF MASONRY
GA	GAUGE	TOS	TOP OF STEEL
GALV	GALVANIZED	TO SLAB	TOP OF SLAB
GC	GENERAL CONTRACTOR	TOW	TOP OF WALL
GL	GLASS, GLAZING	TYP	TYPICAL
GRT	GROUT	UNO	UNLESS NOTED OTHERWISE
GWB	GYP SUM WALL BOARD	VERT	VERTICAL
HB	HOSE BIB	VTO	VENT TO OUTSIDE
HD	HEAD	VTR	VENT THROUGH ROOF
HDND	HARDWOOD	W	WEST
HDR	HEADER	W/	WITH
HM	HOLLOW METAL	WO	WITHOUT
HR	HORIZONTAL	WND	WINDOW
HT	HEIGHT	WD	WOOD
		WR	WATER RESISTANT
		WWF	WELDED WIRE FABRIC

GENERAL PLAN NOTES:

- 1) REFER TO SHEET A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
- 2) ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
- 3) INTERIOR DOORS TO BE INSTALLED 4-1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING IF NOT DIMENSIONED
- 4) ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING
- 5) REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE & FRAMING INFORMATION

GENERAL CONSTRUCTION NOTES:

- 1) THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.
- 2) BEFORE ORDERING MATERIALS OR DOING ANY WORK, THE GENERAL CONTRACTOR AND ALL OF THE SUB-CONTRACTORS SHALL VERIFY ALL MEASUREMENTS ON THE DRAWINGS AND AT THE CONSTRUCTION SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. ANY DISCOVERED DIFFERENCES SHALL BE REPORTED TO THE ARCHITECTS FOR DESIGN CONSIDERATIONS BEFORE PROCEEDING FURTHER WITH THE WORK. THE CONTRACTOR IS HEREBY ADVISED THAT THE DRAWINGS ARE NOT TO SCALE.
- 3) WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- 4) CONTRACTOR SHALL KEEP ALL AREAS UNDER CONSTRUCTION CLEAR OF DIRT AND DEBRIS.
- 5) CONTRACTOR SHALL REPAIR DAMAGED SURFACES WHICH WERE DAMAGED BY CONSTRUCTION OR CLEAN-UP, AND CORRECT CONDITIONS TO MATCH SURROUNDING FINISHED CONDITIONS.
- 6) REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS DRAWN IN FULL.
- 7) DIMENSIONS ON DRAWINGS ARE TAKEN TO THE FACE OF CONCRETE AND TO THE FACE OF STUD, UNLESS OTHERWISE NOTED. FIELD VERIFY ALL DIMENSIONS.
- 8) FIELD VERIFY MILLWORK DIMENSIONS AND ALL WINDOW AND DOOR DIMENSIONS.
- 9) PROTECT ALL PORTIONS OF THE EXISTING BUILDING OR SITE NOT SCHEDULED TO BE REMOVED, IF APPLICABLE, AND REPLACE OR REPAIR ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION. PROVIDE PROTECTION AGAINST INCLEMENT WEATHER, WIND, FROST, EXCESSIVE HEAT, VANDALISM, AND ALL WORKERS, DELIVERY PERSONNEL, SUB-CONTRACTORS AND BUILDING INSPECTORS SO AS TO MAINTAIN ALL WORK, MATERIAL, APPARATUS AND FIXTURES FREE FROM DAMAGE, INCLUDING SURFACE SCRATCHES AND BLEMISHES. ALL NEW AND EXISTING WORK LIKELY TO BE DAMAGED SHALL BE APPROPRIATELY COVERED OR PROTECTED AT ALL TIMES. PROTECT ALL PLANTING AREAS FROM FOOT OR WHEEL TRAFFIC, AND AVOID CRUSHING SAME DUE TO STORED MATERIAL S.

SYMBOLS:

	WINDOW TYPE
	EXTERIOR DOOR TYPE
	DOOR TYPE
	ASSEMBLY TYPE
	SECTION CALL OUT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	100 CFM FAN
	DOWNSPOUT
	FLOOR DRAIN
	HOSE BIB

PROJECT:
BRD McDONALD RESIDENCE
4304 E MERCER WAY
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ISSUE: PERMIT SUBMISSION 2021-10-25

PERMIT CORRECTION 2022-02-24

PERMIT CORRECTION 2022-03-27



DATE:
MARCH 27, 2022

SHEET TITLE:
GENERAL CONDITIONS +
ABBREVIATIONS

SHEET:

G0.1

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
BY: J. W. H. S. INC. 16 THY. JAV. ROAD, W.A.
PARCEL NO(S) 1824059108 & 1824059113
MCDONALD / BIRD-VOGEL RESIDENCE
4304 E MERCER WAY
MERCER ISLAND, WA 98040



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425-458-4488 support@terrane.net
www.terrane.net

JOB NUMBER:	182209
DATE:	11/6/2020
DRAFTED BY:	TOC
CHECKED BY:	TMM/JGM
SCALE:	N.T.S.
REVISION HISTORY:	
07/20/21	TREE REMOVAL
SHEET NUMBER:	
1 OF 2	

LEGAL DESCRIPTION

THAT PORTION OF GOVERNMENT LOT 1, SECTION 18, TOWNSHIP 24 NORTH, RANGE 18 EAST, 11M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT MARKED BY AN IRON PIPE SET ON THE WEST LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION, WHICH POINT IS NORTH 01°18'16" EAST 120 FEET FROM THE NORTHWEST CORNER OF TRACT 1, ADAMS LAKE WASHINGTON TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 11 OF PLATS, PAGE 80, RECORDS OF KING COUNTY, WASHINGTON;

THENCE SOUTH 88°26'18" EAST ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID TRACT 1 AND THE EASTERLY PRODUCTION THEREOF, 1,304.56 FEET TO A POINT MARKED BY AN IRON PIPE SET IN THE CENTERLINE OF EAST MERCER WAY;

THENCE SOUTH 17°42'42" WEST 89.20 FEET TO A POINT MARKED BY AN IRON PIPE ON THE EASTERLY LINE OF SAID EAST MERCER WAY;

THENCE SOUTH 88°47'23" EAST ALONG A FENCE LINE AS IT EXISTED JUNE 30, 1952, DATE OF BOUNDARY LINE AGREEMENT RECORDED UNDER RECORDING NUMBER 4254660, OR THE PRODUCTION THEREOF, 283.19 FEET TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE NORTH 25°08'08" EAST 59.40 FEET;

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 87.5 FEET THROUGH AN ARC OF 33°15'00" A DISTANCE OF 76.74 FEET;

THENCE ALONG A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 37.5 FEET, THROUGH AN ARC OF 16°38'40" A DISTANCE OF 76.54 FEET;

THENCE ON A COMPOUND CURVE TO THE RIGHT, HAVING A RADIUS OF 66.75 FEET, THROUGH AN ARC OF 89°40'49" A DISTANCE OF 104.48 FEET;

THENCE SOUTH 11°23'37" WEST 113.18 FEET TO THE AFOREMENTIONED FENCE LINE, OR THE PRODUCTION THEREOF;

THENCE NORTH 88°47'23" WEST ALONG SAID FENCE LINE, OR ITS PRODUCTION, 119.44 FEET TO THE TRUE POINT OF BEGINNING TOGETHER WITH A 1/70TH INTEREST ROADWAY (BEING THE FOLLOWING DESCRIBED PORTION OF GOVERNMENT LOT 1, SECTION 18, TOWNSHIP 24 NORTH, RANGE 18 EAST, W.M., IN KING COUNTY, WASHINGTON, REFERRED AS FOLLOWS:

4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: SIDE SEWER

RECORDING DATE: NOVEMBER 25, 1988

RECORDING NO.: 6367676 (PLOTTED)

5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: WASHINGTON NATURAL GAS COMPANY, A WASHINGTON CORPORATION

PURPOSE: GAS PIPELINE OR PIPELINES

RECORDING DATE: DECEMBER 19, 1988

RECORDING NO.: 881790665

AFFECTS: PORTION OF PRIVATE ROADWAY

SAID EASEMENT IS ALSO DISCLOSED BY NUMEROUS INSTRUMENTS OF RECORD (NOT PLOTTED, BLANKET IN NATURE)

6. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: CITY OF MERCER ISLAND, A WASHINGTON MUNICIPAL CORPORATION

PURPOSE: CONSTRUCTION OF WATER SYSTEM

RECORDING DATE: JULY 3, 2013

RECORDING NO.: 2013070301031

AFFECTS: PORTION OF SAID PREMISES (PLOTTED)

7. PUBLIC AND/OR PRIVATE EASEMENTS, IF ANY, IN EXISTENCE OVER UNDER, ALONG AND ACROSS THAT PORTION OF REAL ESTATE UNDER SEARCH LING WITHIN THE PRIVATE ROADWAY. (NOT PLOTTED, BLANKET IN NATURE)

8. EXCEPTIONS AND RESERVATIONS CONTAINED IN DEED WHEREBY THE GRANTOR EXCEPTS AND RESERVES ALL OIL, GASES, COAL, MINERALS, FOSSILS, ETC., AND THE RIGHT OF ENTRY FOR OPENING, DRILLING AND WORKING THE SAME AND PROVIDING THAT SUCH RIGHTS SHALL NOT BE EXERCISED UNTIL PROVISION HAS BEEN MADE FOR FULL PAYMENT OF ALL DAMAGES SUSTAINED BY REASON OF SUCH ENTRY.

GRANTOR: STATE OF WASHINGTON

RECORDING NO.: 1072949

RECORDING NO.: 3117173 (NOT PLOTTED, BLANKET IN NATURE)

9. NOTICE OF ADDITIONAL TAP OR CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF:

RECORDING DATE: DECEMBER 6, 1977

RECORDING NO.: 771206081E

(NOT PLOTTED, NOT SURVEY RELATED)

10. AGREEMENT AND THE TERMS AND CONDITIONS THEREOF, EXECUTED BY OWNERS OF TRACTS A AND OWNERS OF TRACT B

RECORDING DATE: NOVEMBER 1, 1994

RECORDING NO.: 9411010574

REGARDING: COMMUNITY WATERPROOF JOINT USE (PLOTTED)

11. INDEMNIFICATION AND HOLD HARMLESS AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:

RECORDING DATE: JULY 27, 2019

RECORDING NO.: 20190672001589

(NOT PLOTTED, NOT SURVEY RELATED)

12. QUESTION OF LOCATION OF LATERAL BOUNDARIES OF SAID SECOND CLASS TIDELANDS OR SHORELANDS. (NOT PLOTTED, BLANKET IN NATURE)

13. ANY QUESTION, THAT MAY ARISE DUE TO SHIFTING AND CHANGING IN THE COURSE, BOUNDARIES OR HIGH WATER LINE OF LAKE WASHINGTON. (NOT PLOTTED, BLANKET IN NATURE)

14. RIGHTS OF THE STATE OF WASHINGTON IN AND TO THAT PORTION, IF ANY, OF THE LAND WHICH LIES BELOW THE LINE OF ORDINARY HIGH WATER OF LAKE WASHINGTON. (NOT PLOTTED, BLANKET IN NATURE)

15. ANY PROHIBITION OR LIMITATION OF USE, OCCUPANCY OR IMPROVEMENT OF THE LAND RESULTING FROM THE RIGHTS OF THE PUBLIC OR RIPARIAN OWNERS TO USE ANY PORTION WHICH IS NOW OR WAS FORMERLY COVERED BY WATER. (NOT PLOTTED, BLANKET IN NATURE)

16. PARAGRAM HENTS AND EASEMENTS IN FAVOR OF THE UNITED STATES FOR COMMERCE, NAVIGATION, FISHERIES AND THE PRODUCTION OF POWER. (NOT PLOTTED, BLANKET IN NATURE)

SITUATE IN THE REMAINING SECOND CLASS SHORELANDS ADJOINING SAID PREMISES.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

SCHEDULE B ITEMS

1. PERPETUAL RIGHT TO USE WATER ARISING IN SPRINGS UPON SAID PREMISES AND EXEMPTED TO LAND MAINRAIN WATER PIPES THEREON, DISCLOSED BY INSTRUMENT RECORDED NOVEMBER 5, 1921 UNDER RECORDING NO. 1565522, WHICH RIGHT AND EASEMENT TO BE USED ONLY IN CONNECTION WITH THE PREMISES ADJOINING TO THE SOUTH TO MT.

2. THE NORTH HALF OF TRACT 1, ADAMS LAKE WASHINGTON TRACTS. (NOT PLOTTED, BLANKET IN NATURE)

2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM

RECORDING DATE: JANUARY 31, 1958

RECORDING NO.: 2982759

AFFECTS: SOUTH 120 FEET OF THAT PORTION OF SAID GOVERNMENT LOT 1 LYING NORTH OF AND ADJACENT TO THE NORTH LINE OF SAID TRACT 1, ADAMS LAKE WASHINGTON TRACTS (NOT PLOTTED DOCUMENT ILLEGIBLE)

3. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: MERCER ISLAND SEWER DISTRICT

PURPOSE: SEWER PIPE LINES

RECORDING DATE: NOVEMBER 12, 1964

RECORDING NO.: 5810603

AFFECTS: SAID SHORE LANDS

(NOT PLOTTED, BLANKET IN NATURE)

4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: SIDE SEWER

RECORDING DATE: NOVEMBER 25, 1988

RECORDING NO.: 6367676 (PLOTTED)

5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: WASHINGTON NATURAL GAS COMPANY, A WASHINGTON CORPORATION

PURPOSE: GAS PIPELINE OR PIPELINES

RECORDING DATE: DECEMBER 19, 1988

RECORDING NO.: 881790665

AFFECTS: PORTION OF PRIVATE ROADWAY

SAID EASEMENT IS ALSO DISCLOSED BY NUMEROUS INSTRUMENTS OF RECORD (NOT PLOTTED, BLANKET IN NATURE)

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PURPOSE: CONSTRUCTION OF WATER SYSTEM

RECORDING DATE: JULY 3, 2013

RECORDING NO.: 2013070301031

AFFECTS: PORTION OF SAID PREMISES (PLOTTED)

7. PUBLIC AND/OR PRIVATE EASEMENTS, IF ANY, IN EXISTENCE OVER UNDER, ALONG AND ACROSS THAT PORTION OF REAL ESTATE UNDER SEARCH LING WITHIN THE PRIVATE ROADWAY. (NOT PLOTTED, BLANKET IN NATURE)

8. EXCEPTIONS AND RESERVATIONS CONTAINED IN DEED WHEREBY THE GRANTOR EXCEPTS AND RESERVES ALL OIL, GASES, COAL, MINERALS, FOSSILS, ETC., AND THE RIGHT OF ENTRY FOR OPENING, DRILLING AND WORKING THE SAME AND PROVIDING THAT SUCH RIGHTS SHALL NOT BE EXERCISED UNTIL PROVISION HAS BEEN MADE FOR FULL PAYMENT OF ALL DAMAGES SUSTAINED BY REASON OF SUCH ENTRY.

GRANTOR: STATE OF WASHINGTON

RECORDING NO.: 1072949

RECORDING NO.: 3117173 (NOT PLOTTED, BLANKET IN NATURE)

9. NOTICE OF ADDITIONAL TAP OR CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF:

RECORDING DATE: DECEMBER 6, 1977

RECORDING NO.: 771206081E

(NOT PLOTTED, NOT SURVEY RELATED)

10. AGREEMENT AND THE TERMS AND CONDITIONS THEREOF, EXECUTED BY OWNERS OF TRACTS A AND OWNERS OF TRACT B

RECORDING DATE: NOVEMBER 1, 1994

RECORDING NO.: 9411010574

REGARDING: COMMUNITY WATERPROOF JOINT USE (PLOTTED)

11. INDEMNIFICATION AND HOLD HARMLESS AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:

RECORDING DATE: JULY 27, 2019

RECORDING NO.: 20190672001589

(NOT PLOTTED, NOT SURVEY RELATED)

12. QUESTION OF LOCATION OF LATERAL BOUNDARIES OF SAID SECOND CLASS TIDELANDS OR SHORELANDS. (NOT PLOTTED, BLANKET IN NATURE)

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14. RIGHTS OF THE STATE OF WASHINGTON IN AND TO THAT PORTION, IF ANY, OF THE LAND WHICH LIES BELOW THE LINE OF ORDINARY HIGH WATER OF LAKE WASHINGTON. (NOT PLOTTED, BLANKET IN NATURE)

15. ANY PROHIBITION OR LIMITATION OF USE, OCCUPANCY OR IMPROVEMENT OF THE LAND RESULTING FROM THE RIGHTS OF THE PUBLIC OR RIPARIAN OWNERS TO USE ANY PORTION WHICH IS NOW OR WAS FORMERLY COVERED BY WATER. (NOT PLOTTED, BLANKET IN NATURE)

16. PARAGRAM HENTS AND EASEMENTS IN FAVOR OF THE UNITED STATES FOR COMMERCE, NAVIGATION, FISHERIES AND THE PRODUCTION OF POWER. (NOT PLOTTED, BLANKET IN NATURE)

BASIS OF BEARINGS

A BEARING OF N 88°52'01" W BETWEEN FOUND SURVEY POINTS ON THE NORTH LINE OF R1.

REFERENCES

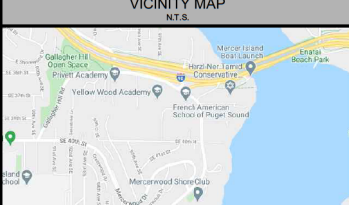
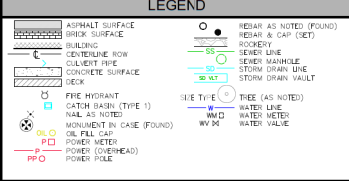
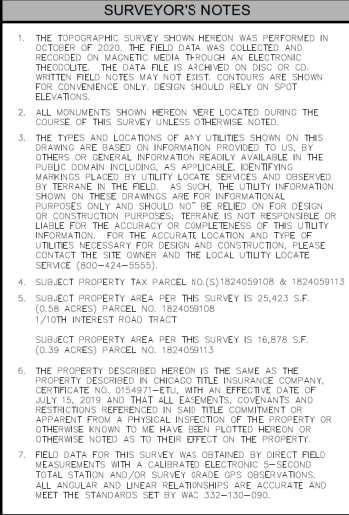
R1. CROWDER ADDITION, VOL17, PG. 30&31
R2. ROS VOL.61, PG.260
R3. ROS VOL.152, PG. 242

VERTICAL DATUM

NAVD88 PER CITY OF MERCER ISLAND BENCHMARK 2220 (NOT PLOTTED DOCUMENT ILLEGIBLE)

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN OCTOBER OF 2020. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX: PARCEL NO.(S) 1824059108 & 1824059113
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 25,423 S.F. (0.58 ACRES) PARCEL NO. 1824059108
1/10TH INTEREST ROAD TRACT
SUBJECT PROPERTY AREA PER THIS SURVEY IS 16,878 S.F. (0.39 ACRES) PARCEL NO. 1824059113
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY, CERTIFICATE NO. 0164971-ET-1, WITH AN EFFECTIVE DATE OF JULY 15, 2019 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3rd SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.



SITE

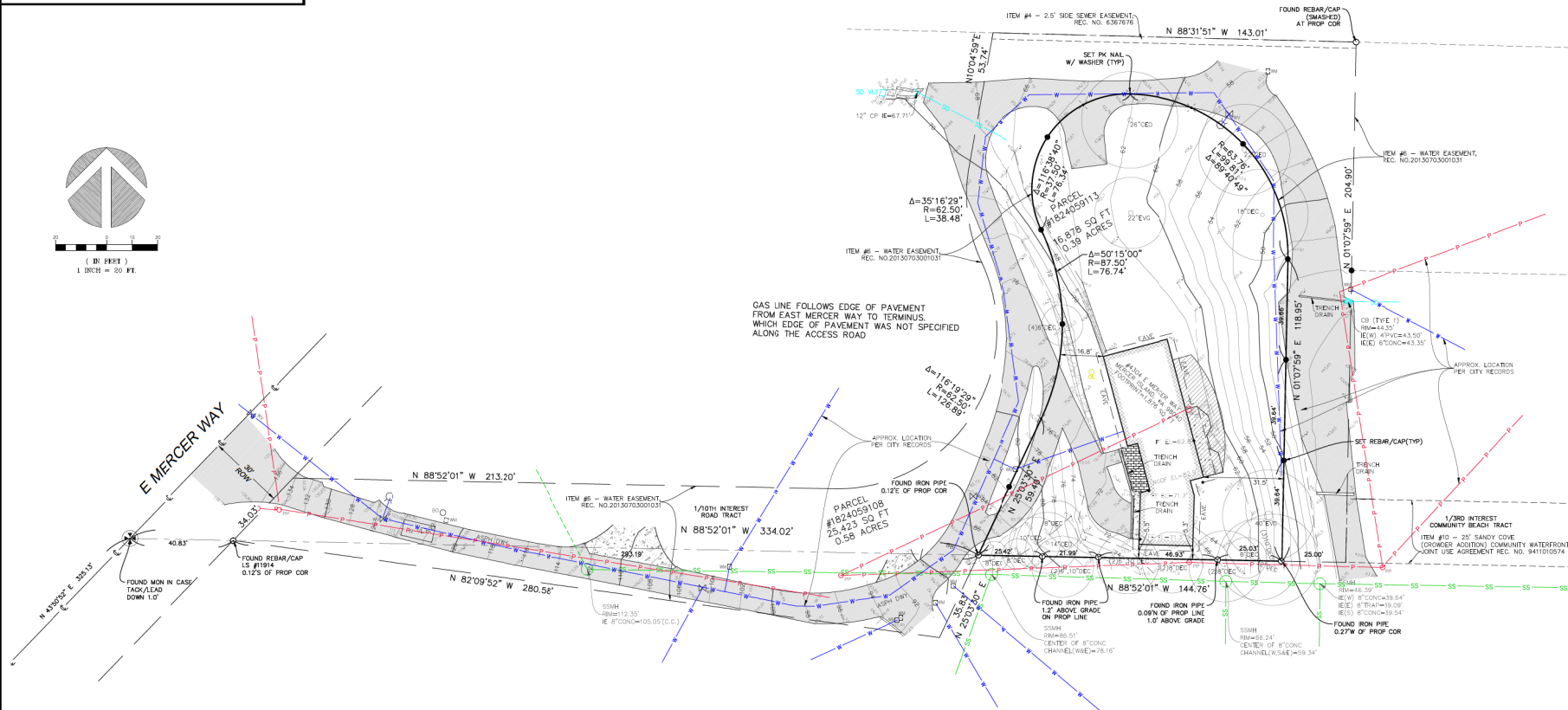
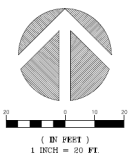
STEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE SLOPE LOCATION, AND EXTENT ARE BASED ON VISUAL GENERAL OBSERVATIONS ON SITE AND OUR COURTY REVIEW OF RECENTLY AVAILABLE PUBLIC DOCUMENTS. AS SUCH, TERRANE CANNOT BE HELD OR OTHERWISE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEP SLOPES ASSOCIATED WITH ANY TERRANE OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE RELEVANT AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

- ASPHALT SURFACE
- DIKER SURFACE
- BUILDING
- SEWERLINE ROW
- CULVERT PIPE
- CONCRETE SURFACE
- ROCK
- FIRE HYDRANT
- CATCH BASIN (TYPE 1)
- NAIL (AS NOTED)
- MONUMENT IN CASE (FOUND)
- OIL FIELD CAP
- POWER METER
- POWER (POLEHEAD)
- POWER POLE
- REBAR (AS NOTED) (FOUND)
- REBAR & CAP (SET)
- ROCKERY
- SEWER LINE
- SEWER MANHOLE
- STORM DRAIN LINE
- STORM DRAIN VAULT
- I.I.E. TYPE
- RISE (AS NOTED)
- WATER LINE
- WATER METER
- WATER VALVE



GAS LINE FOLLOWS EDGE OF PAVEMENT FROM EAST MERCER WAY TO TERMINUS. WHICH EDGE OF PAVEMENT WAS NOT SPECIFIED ALONG THE ACCESS ROAD

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 SEE 1/4 OF ME 1/4 SEC 16, TYP. 2ND, R2E, W4E, W4M
 PARCEL NO(S) 1624059108 & 1624059113
 McDONALD / BIRD-VOGEL RESIDENCE
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425-458-4488 support@terrane.net
www.terrane.net

JOB NUMBER:	162209
DATE:	11/04/20
DRAFTED BY:	TOC
CHECKED BY:	TMMJUM
SCALE:	1" = 20'
REVISION HISTORY:	
07/20/21	TREE REMOVAL
SHEET NUMBER:	2 OF 2



LEGAL DESCRIPTION
SEE SURVEY

ORGANIC SOIL REQUIREMENT

**MINIMUM 10%
ORGANIC MULCH &
COMPOST SOIL
REQUIRED**

SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL
LANDSCAPED AREAS AFTER CONSTRUCTION SEE
DETAIL ON C3.5

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION &
CERTIFICATION OF AMENDED SOILS IS REQUIRED
BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED
BEFORE FINAL SIGN-OFF BY CITY.

TREE PROTECTION

(TP)CHAIN LINK FENCE REQ FOR TREE PROTECTION

TREE PROTECTION NOTES (SOURCED FROM ARBORIST)

SOURCED FROM ARBORIST REPORT

The site-specific recommendations are as follows:

- Install tree protection fencing for any tree on-site according to standard tree protection measures at the beginning of the project
- Any demolition or construction activities that are likely to take place within the LOD of retained trees will need to be supervised by an ISA Certified arborist to ensure that the trees are not damaged
- When anticipated construction activity requires ingress into the LOD, temporarily adjust the fence limits as little as necessary to allow access.
- The supervising arborist will make recommendations at the time of construction to ensure suitable tree protection standards are followed
- Prohibit any heavy machinery from operating within the CRZ of the trees.

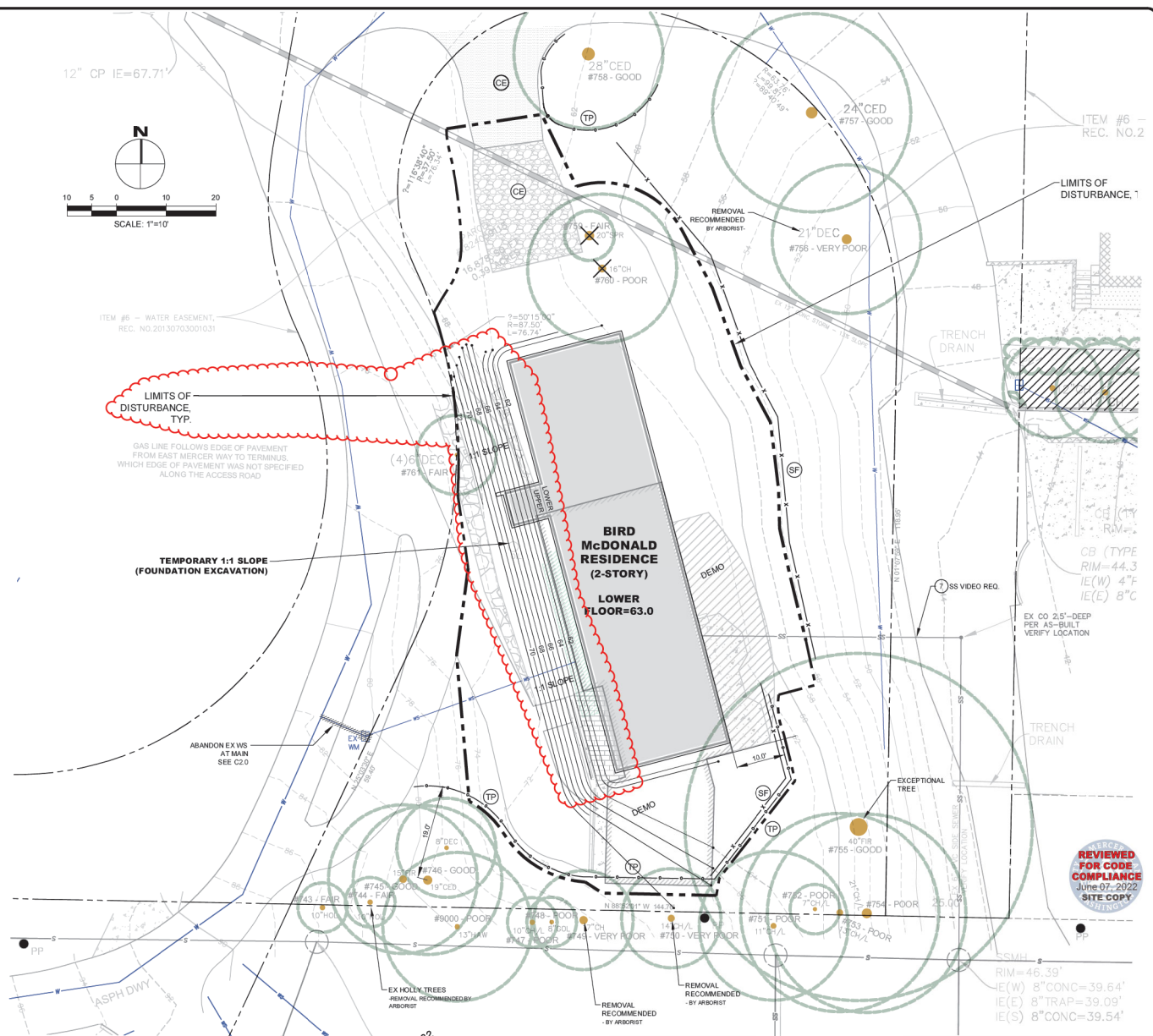
ARBORIST REPORT



EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE	Symbol
FILTER FABRIC FENCE (SILT FENCE)	SP
STABILIZED CONSTRUCTION ENTRANCE	CE
CATCH BASIN INLET PROTECTION	IP
INTERCEPTOR SHALE SEE COR DWG 504 TYPE A TEMPORARY SWALE	IS
TREE PROTECTION FENCING	TP
CHECK DAM	CD
STRAW WHITTLES	SW

USE AS NEEDED



ITEM #6 - REC. NO.2

LIMITS OF DISTURBANCE 1

CB (TYPE RIM=44.3 IE(W) 4" IE(E) 8" EX CO 2.5'-DEEP PER AS-BUILT VERIFY LOCATION

TRENCH DRAIN

REVIEWED FOR CODE COMPLIANCE June 07, 2022 SITE COPY PRINTING

RIM=46.39' IE(W) 8" CONC=39.64' IE(E) 8" TRAP=39.09' IE(S) 8" CONC=39.54'

NO.	DATE	BY	REVISIONS

APPLICANT
CARLY BIRD-VOGEL AND PAUL McDONALD
4304 E MERCER WAY
MERCER ISLAND, WA 98040

DATE: Mar 25, 2022
JOB# 2007
DRAFTED: SS DESIGN SS
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS
102 NW CANAL STREET SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

**TESC PLAN
TREE RETENTION PLAN**

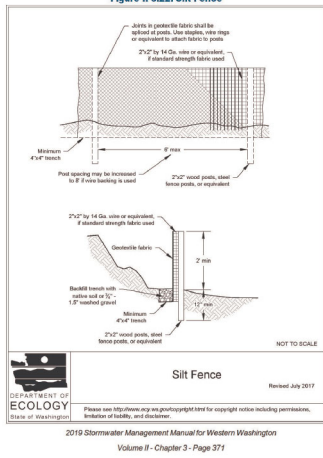
BIRD/McDONALD RESIDENCE
4304 E. MERCER WAY, MERCER ISLAND, WA 98040

DRAWING NO:
C1.0

APN 182405-9113
2110-247

SILT FENCE DETAIL

DOE



RECOMMENDED CONSTRUCTION SEQUENCE

- A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW.
- HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
 - POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
 - FLAG OR FENCE CLEARING LIMITS.
 - INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
 - GRADE AND INSTALL CONSTRUCTION ENTRANCES(S).
 - INSTALL PERIMETER PROTECTION (SLT FENCE, BRUSH BARRIER, ETC.).
 - CONSTRUCT SEDIMENT PONDS AND TRAPS.
 - GRADE AND STABILIZE CONSTRUCTION ROADS.
 - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPT DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - RELOCATE SURFACE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.
 - COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
 - STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
 - SEED, SOO, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMP'S IF APPROPRIATE.

EROSION CONTROL NOTES

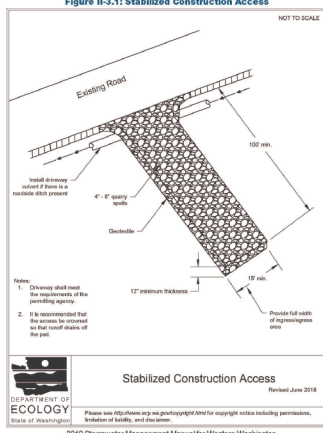
- D 8.2 STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS. AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RE-NUMBERED. FOR EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE NUMBERED 1, 2, 4, 5, 6, ETC.
- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
 - THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT'S SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
 - THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SEEM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT'S SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
 - STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
 - THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
 - THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DIKES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND.
 - THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT'S SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
 - ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
 - ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
 - THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.
 - AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEARED PRIOR TO PAYING. THE CLEARING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
 - ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
 - COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
 - PRIOR TO THE BEGINNING OF THE WET SEASON (OCT 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

CITY NOTES

- ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
- APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
- CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS/LET'S DOWN SLOPE AND WITHIN 50 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
- CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES.
- AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1.800.424.5555
- DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED.
- EROSION CONTROL. ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 955-119 "STORM WATER MANAGEMENT". SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE.
- PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP). EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT POND, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
- CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
- PREVENT SEDIMENT. CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC. OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
- ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
- INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION BOULDERS, BENCHES, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
- OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
- POT HOLDING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS WATER, SEWER AND STORM SYSTEMS. IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- REMEMBER: EROSION CONTROL IS YOUR FIRST PRIORITY.
- ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
- SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
- WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
- REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
- THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
- NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
- POT HOLDING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS WATER, SEWER AND STORM SYSTEMS. IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- THE LIMITS AND EXTENTS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.

CONSTRUCTION ENTRANCE

DOE



DENUDED AREAS REQUIREMENTS

- APRIL 1 TO SEPT 30
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.
- OCT 1 TO MARCH 31
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

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2019 Stormwater Management Manual for Western Washington
Volume II - Chapter 3 - Page 279

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2019 Stormwater Management Manual for Western Washington
Volume II - Chapter 3 - Page 279



NO.	DATE	BY	REVISIONS	APPLICANT CARLY BIRD-VOGEL AND PAUL McDONALD 4304 E MERCER WAY MERCER ISLAND, WA 98040	DATE: Feb 22, 2022 JOB# 2007 DRAFTED: SS DESIGN: DE DIGITAL SIGNATURE	CIVIL ENGINEERING SOLUTIONS 102 NW CANAL STREET PHONE: 206.630.0342	SEATTLE, WA 98107 DUFFY@ESOLUTIONS.WA	DRAWING NO: C1.2	APN 182405-9113 2110-247
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SANITARY SEWER IMPROVEMENTS

- ① -
- ② - 6" SDR 35 PVC SANITARY SEWER(SS) @ MIN 1.0 %
- ③ -
- ④ -
- ⑦ -

WATER IMPROVEMENTS

- ⑩ - 4" SDR 35 RESIDENTIAL WATER SERVICE & METER PIT. CONFIRM REQUIRED SIZE WITH BUILDING PERMIT. INSTALL PER MERCER ISLAND DETAIL W-13, W-14, OR W-14A DEPENDING ON SIZE REQUIREMENT.
- ⑪ - 1.5" SDR 35 PRIVATE HDPE WATER (ASTM D2239) FROM METER TO HOUSE. RECOMMENDED DEPTH=36". COORDINATE HOUSE ENTRY WITH BUILDER/OWNER.
- ⑫ -
- ⑬ -
- ⑭ -

STORM DRAIN

- ⑰ - 4" STORM DRAIN (3034 PVC) @ MIN 2 % GRADE
- ⑱ - 4" FOUNDATION DRAIN (3034 PVC) @ MIN 1 % GRADE
- ⑳ - 6" STORM DRAIN (3034 PVC) @ MIN 2 % GRADE
- ㉑ -
- ㉒ -
- ㉓ -
- ㉔ -
- ㉕ -
- ㉖ -

STORM DRAIN STRUCTURES

- ㉗ -
- ㉘ -
- ㉙ -
- ㉚ - TYPE 1 CB (WATER QUALITY) WITH STANDARD GRATE TOP. PROVIDE RISOR WITH TURNED-DOWN ELBOW FOR IMPROVED WATER QUALITY FUNCTION.
- ㉛ - TYPE 2 CATCH BASIN
- ㉜ -
- ㉝ -
- ㉞ -
- ㉟ - SADDLE-TEE CONNECTION. ROMAC CB SEWER SADDLE (OR EQUAL) CONNECTION TO STORM DRAIN
- ㊱ -
- ㊲ -
- ㊳ -
- ㊴ -
- ㊵ -
- ㊶ -

STORM BMP's

- ㉡ - COMPOST AMENDED SOIL TO ALL DISTURBED AREAS (SEE DETAIL SHEET C3.5). TILL 2-3" OF COMPOST INTO UPPER 8" OF SOIL. LOOSEN COMPACTED SUBSOIL, IF NEEDED BY RIPPING TO 12" DEPTH. MULCH LANDSCAPE BEDS AFTER PLANTING.

- ㉢ -
- ㉣ -
- ㉤ -
- ㉥ -
- ㉦ -
- ㉧ -
- ㉨ -
- ㉩ -

MINIMUM 10% ORGANIC - COMPOST & MULCH SOIL REQUIRED

SOILS

SEE REPORT BY GEOTECH CONSULTANTS REPORT DECEMBER 11, 2020. MEDIUM DENSE TO DENSE SILTY SAND TO SANDY SILT BECOMES DENSE AT 6' DEPTH. SEE STATEMENT OF RISK IN REPORT REGARDING MAPPED CRITICAL AREAS (SEISMIC AND POTENTIAL LANDSLIDE).

SURVEYOR

TOPOGRAPHIC & BOUNDARY SURVEY BY:
TERRANE
19301 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
PHONE: 425.458.4488
www.terrane.net

VERTICAL DATUM

NAVD88 PER CITY OF MERCER ISLAND BENCHMARK 2203
SEE SURVEY

LEGAL DESCRIPTION

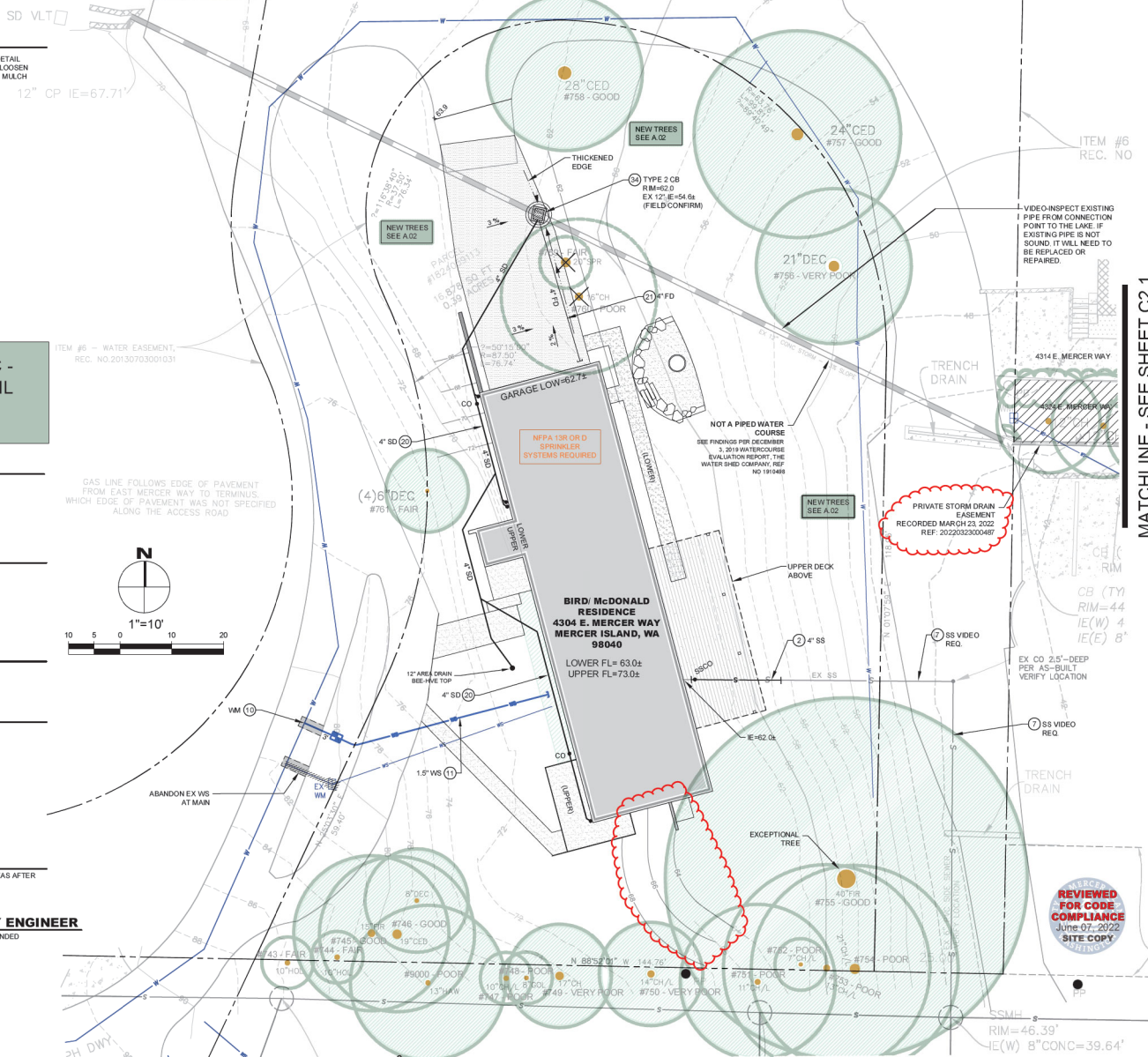
SEE C1.0

SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.



MATCHLINE - SEE SHEET C2.1

NO.	DATE	BY	REVISIONS

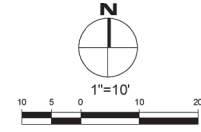
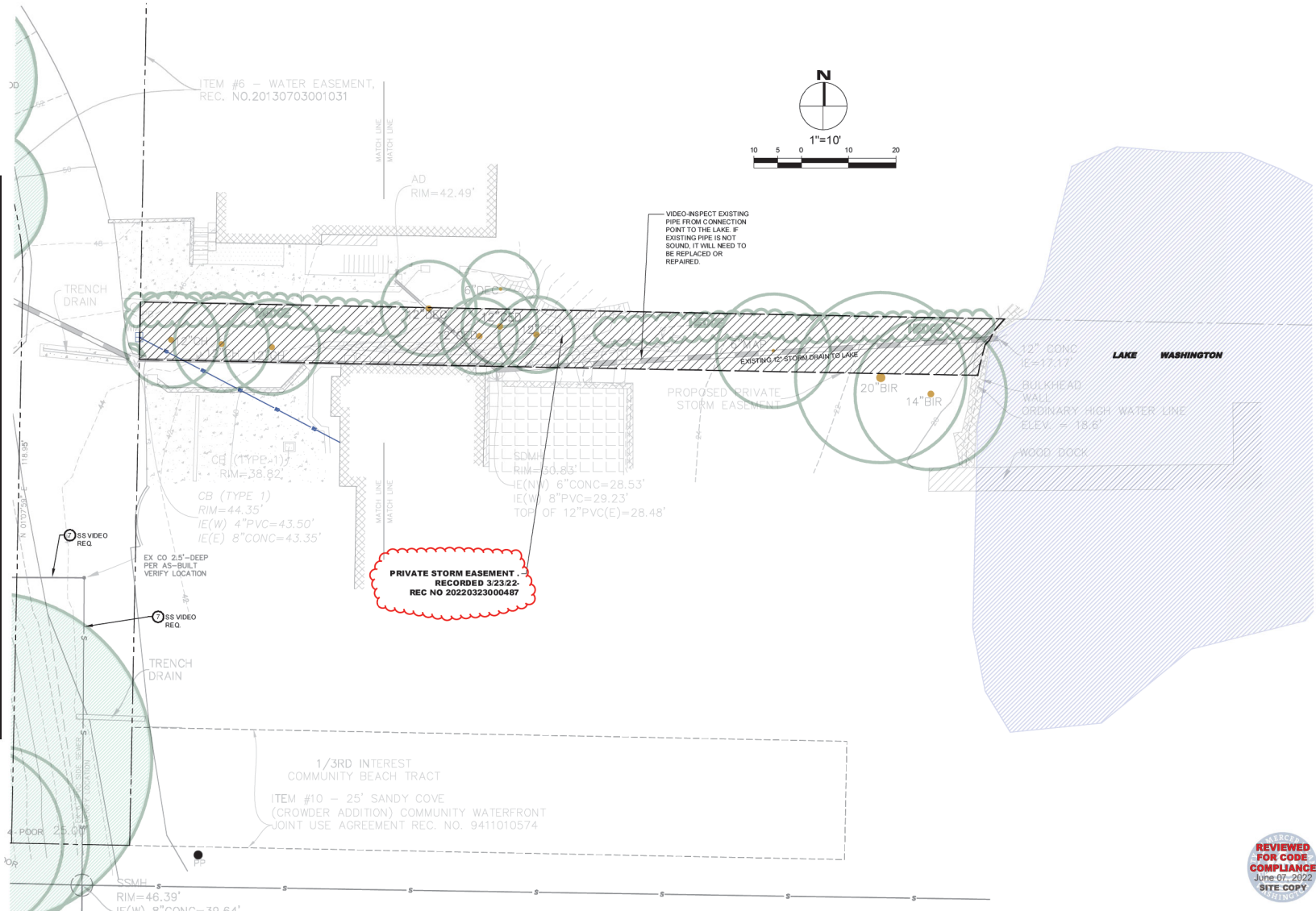
APPLICANT CARLY BIRD-VOGEL AND PAUL MCDONALD 4304 E MERCER WAY MERCER ISLAND, WA 98040	DATE: Mar 25, 2022 JOB# 2007 DRAFTED: DE DESIGN DE DIGITAL SIGNATURE
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CIVIL ENGINEERING SOLUTIONS
 102 NW CANAL STREET SEATTLE, WA 98107
 PHONE: 206.832.0542 DUFFY@CESOLUTIONS.WA

DRAINAGE / CIVIL PLAN
 SHEET 1 OF 2
 BIRD/McDONALD RESIDENCE
 4304 E. MERCER WAY, MERCER ISLAND, WA 98040

DRAWING NO:
C2.0
 APN 182405-9113
 2110-247

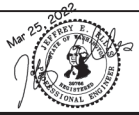
MATCHLINE - SEE C2.0



NO.	DATE	BY	REVISIONS

APPLICANT
 CARLY BIRD-VOGEL AND PAUL McDONALD
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

DATE: Mar 25, 2022
 JOB# 2007
 DRAFTED: DE DESIGN DE
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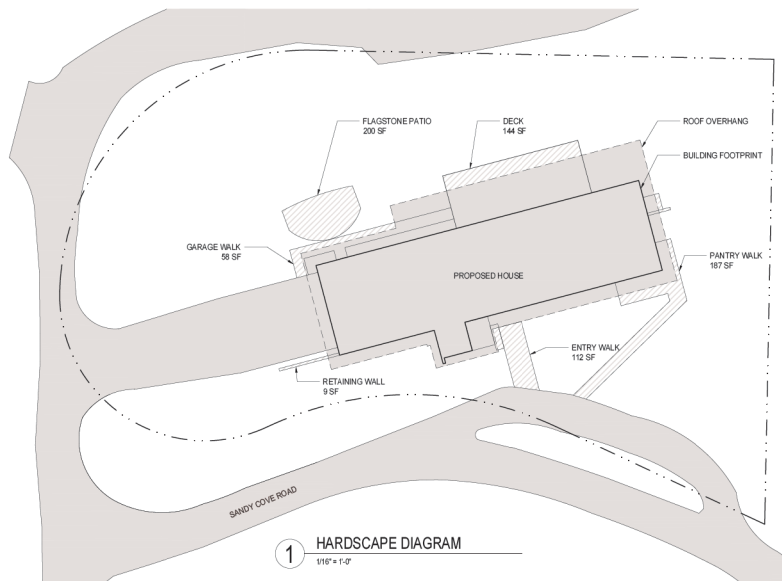
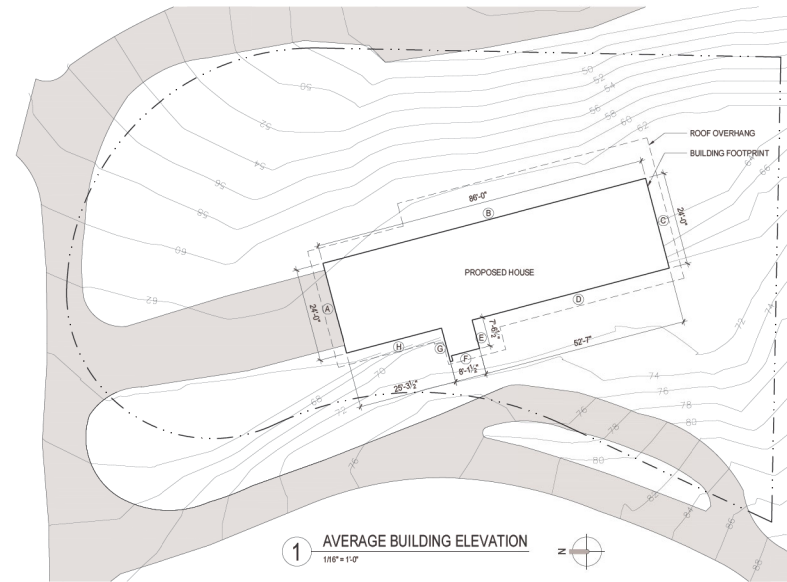
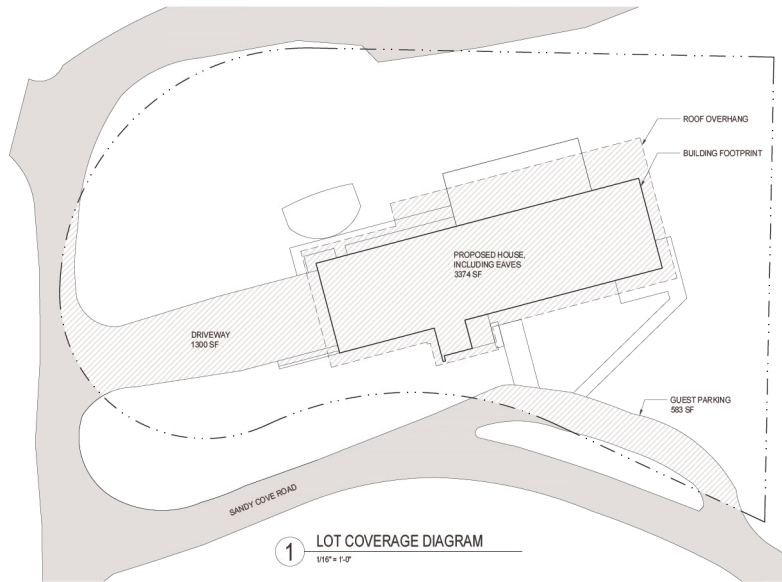


CIVIL ENGINEERING SOLUTIONS
 102 NW CANAL STREET SEATTLE, WA 98107
 PHONE: 206.930.0542 DUFFY@CESOLUTIONS.US

DRAINAGE / CIVIL PLAN
 SHEET 2 OF 2
 BIRD/McDONALD RESIDENCE
 4304 E. MERCER WAY, MERCER ISLAND, WA 98040

DRAWING NO:
C2.1
 APN 182405-9113
 2110-247





Zoning Calculations

Lot Area 16,878 SF

Gross Floor Area	
Main Level Floor Area	2,116.0 SF
Main Level Covered Deck	360.0 SF
Lower Level Floor Area	2,476.0 SF
Lower Level Floor Area	2,890.0 SF
Proposed Gross Floor Area	4,636.0 SF 28.3%
Allowable Gross Floor Area	6,791.2 SF 40.0%

*Measured from exterior face of building
*Includes attached covered deck floor area

Lot Slope	28.23%
Highest Elevation Point	87.83 feet
Lowest Elevation Point	44.58 feet
Elevation Difference	43.25 feet
Horizontal Difference	147.65 feet
87.83 - 44.58 = 43.25 / 147.66 = 29.29%	

Lot Coverage

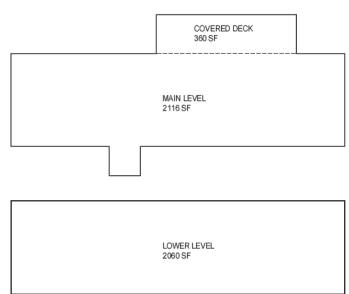
House, including eaves	3,374.0 SF
Driveway	1,300.0 SF
Guest Parking	583.0 SF
Proposed Lot Coverage	5,257.0 SF 31.1%
Allowable Lot Coverage	5,907.3 SF 35.0%

*Includes all buildings measured to the eaves and all driving surfaces

Hardscape

Entry Walkway	112.0 SF
Pantry Walkway	187.0 SF
Garage Walkway	58.0 SF
Deck	144.0 SF
Flagstone Patio	200.0 SF
Retaining Wall	9.0 SF
Proposed Hardscape	710.0 SF 4.2%
Allowable Hardscape	1,519.0 SF 9.0%

*Includes walkways, decks, patios; Does NOT include driving surfaces or buildings



Average Building Elevation

Midpoint Elevation	Segment Length	Elev x Length
A 63.0	24.0 feet	1512.0
B 65.5	89.0 feet	5829.0
C 64.0	24.0 feet	1536.0
D 70.5	33.0 feet	2326.5
E 71.0	7.5 feet	532.5
F 71.0	9.0 feet	639.0
G 71.0	7.5 feet	532.5
H 64.0	25.3 feet	1619.2
Total	537.0 feet	15411.7
Average Building Elevation =		65.5 feet
Maximum Building Height =		96.6 feet



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CLIENT:
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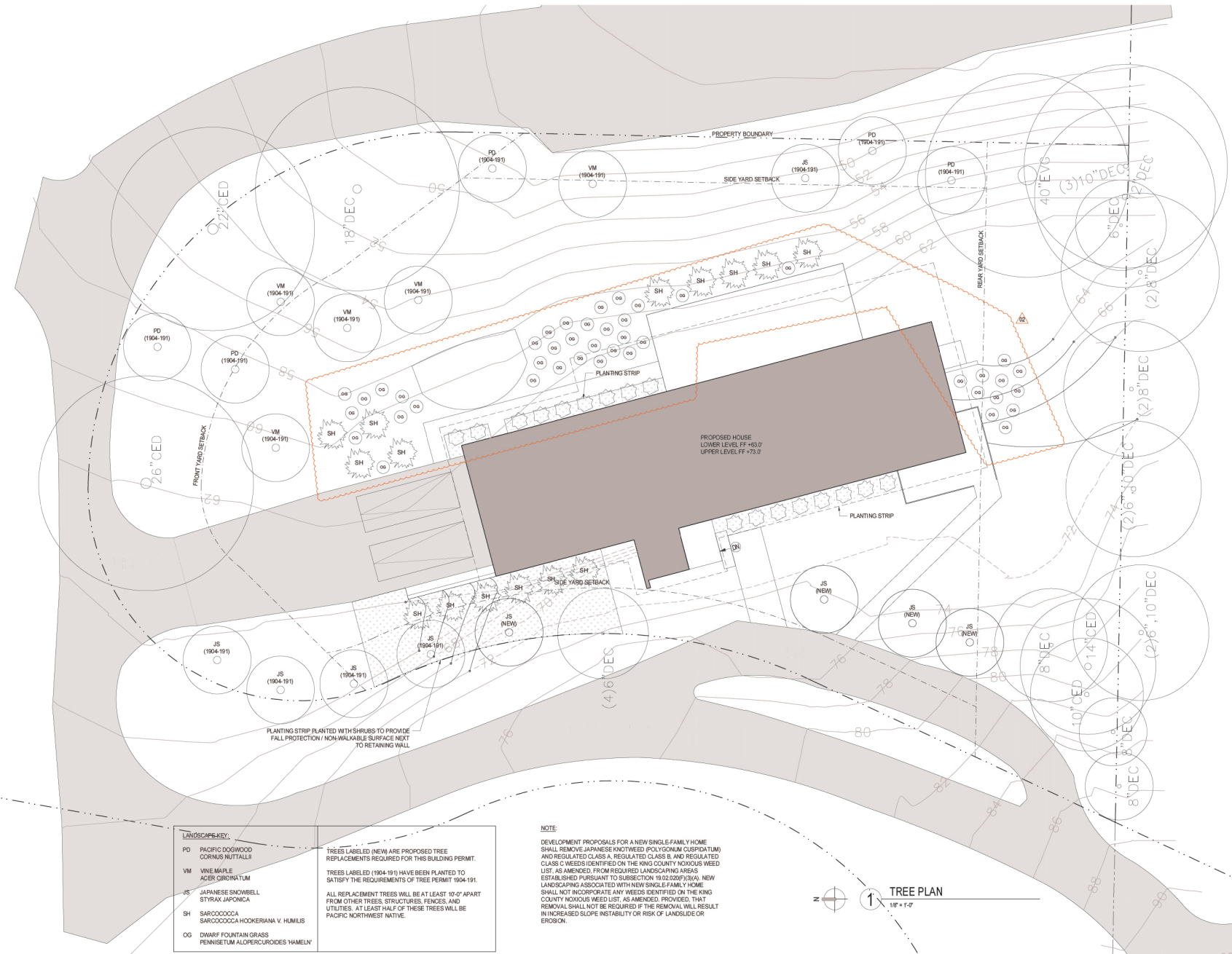


DATE:
MARCH 27, 2022

SHEET TITLE:
TREE PLAN

SHEET:

A0.2



LANDSCAPE KEY:

PD	PACIFIC DOGWOOD CORNUS NUTTALLII
VM	VINE MAPLE ACER CIRCINATUM
JS	JAPANESE SNOWBELL STRYAX JAPONICA
SH	SARCOCOCCA SARCOCOCCA HOOKERIANA V. HUMILIS
OG	DWARF FOUNTAIN GRASS FENWISSETUM ALGERICOIDES 'HAMELY'

TREES LABELED (NEW) ARE PROPOSED TREE REPLACEMENTS REQUIRED FOR THIS BUILDING PERMIT.
TREES LABELED (1904-191) HAVE BEEN PLANTED TO SATISFY THE REQUIREMENTS OF TREE PERMIT 1904-191.
ALL REPLACEMENT TREES WILL BE AT LEAST 10'-0" APART FROM OTHER TREES, STRUCTURES, FENCES, AND UTILITIES. AT LEAST HALF OF THESE TREES WILL BE PACIFIC NORTHWEST NATIVE.

NOTE:
DEVELOPMENT PROPOSALS FOR A NEW SINGLE-FAMILY HOME SHALL REMOVE JAPANESE KNOTWEED (POLYCONUM CIBICIDATUM) AND REGULATED CLASS A, REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, FROM REQUIRED LANDSCAPING AREAS ESTABLISHED PURSUANT TO SUBSECTION 19.02.020(F)(3)(A) NEW LANDSCAPING ASSOCIATED WITH NEW SINGLE-FAMILY HOME SHALL NOT INCORPORATE ANY WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, PROVIDED THAT REMOVAL SHALL NOT BE REQUIRED IF THE REMOVAL WILL RESULT IN INCREASED SLOPE INSTABILITY OR RISK OF LANDSLIDE OR EROSION.

TREE PLAN
1/8" = 1'-0"

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CLIENT:
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4304 E MERCER WAY
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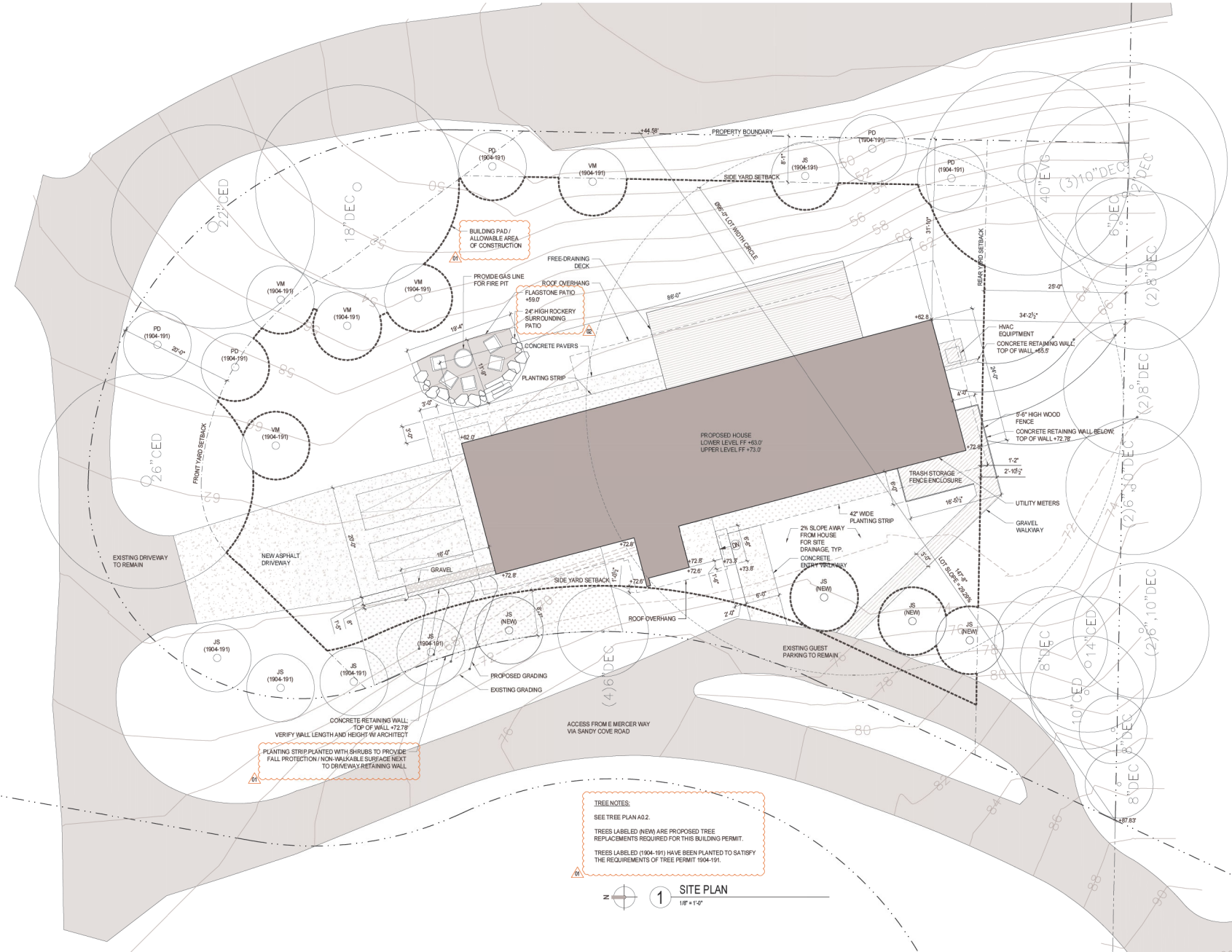


DATE:
MARCH 27, 2022

SHEET TITLE:
SITE PLAN

SHEET:

A1.1



TREE NOTES:
SEE TREE PLAN A02.
TREES LABELED (NEW) ARE PROPOSED TREE REPLACEMENTS REQUIRED FOR THIS BUILDING PERMIT.
TREES LABELED (1904-19) HAVE BEEN PLANTED TO SATISFY THE REQUIREMENTS OF TREE PERMIT 1904-19.

1 SITE PLAN
1/8" = 1'-0"

GENERAL NOTES:

1. REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
2. REFER TO SHEET A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
3. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNO.
4. INTERIOR DOORS TO BE 4-1/2" FROM FACE OF STUD, UNO.
5. SMOKE DETECTORS TO BE INTERCONNECTED PER IRC R314.4.
6. HARDWIRED TO BUILDING WIRING WITH BATTERY BACKUP PER IRC R314.6
7. CARBON MONOXIDE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2004. PRIMARY POWER FROM BUILDING WIRING WITH BATTERY BACKUP
8. UNDER-STAIR PROTECTION TO BE 1/2" GYPSUM BOARD PER IRC R302.7
9. ALL SAFETY GLAZING TO BE IDENTIFIED WITH MANUFACTURER DESIGNATION AT HAZARDOUS LOCATIONS PER IRC R308.1. SEE OPENING SCHEDULE FOR LOCATIONS
10. GARAGE WALLS AND CEILING TO HAVE 5/8" TYPE 'X' GWB
11. WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION

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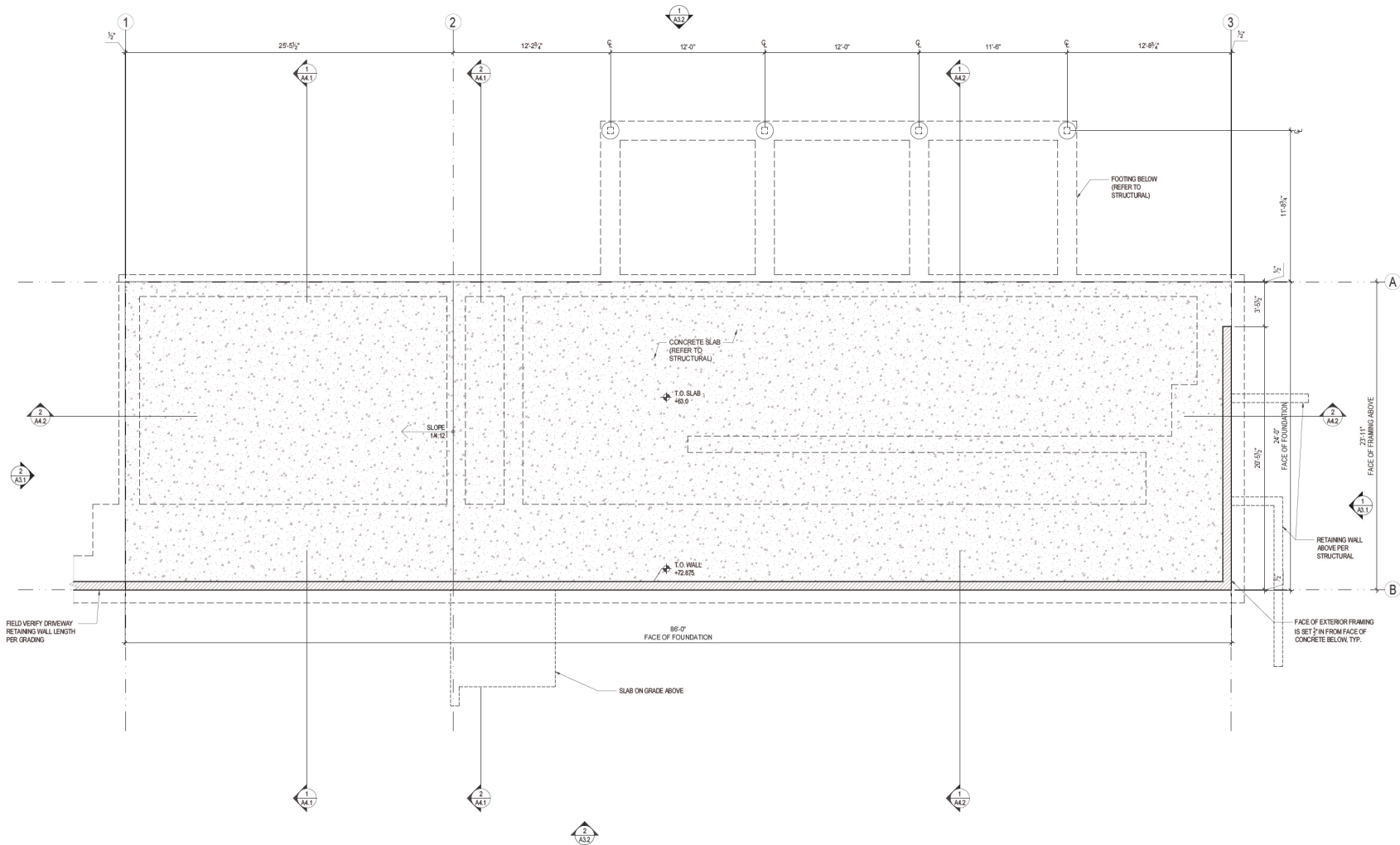


DATE:
MARCH 27, 2022

SHEET TITLE:
FOUNDATION PLAN

SHEET:

A2.1



- GENERAL NOTES:**
1. REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
 2. REFER TO SHEET A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
 3. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNO.
 4. INTERIOR DOORS TO BE 4-1/2" FROM FACE OF STUD, UNO.
 5. SMOKE DETECTORS TO BE INTERCONNECTED. PER IRC R314.4.
 6. HARDWIRED TO BUILDING WIRING WITH BATTERY BACKUP. PER IRC R314.6.
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 9. ALL SAFETY GLAZING TO BE IDENTIFIED WITH MANUFACTURER DESIGNATION AT HAZARDOUS LOCATIONS PER IRC R308.1. SEE OPENING SCHEDULE FOR LOCATIONS.
 10. WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.

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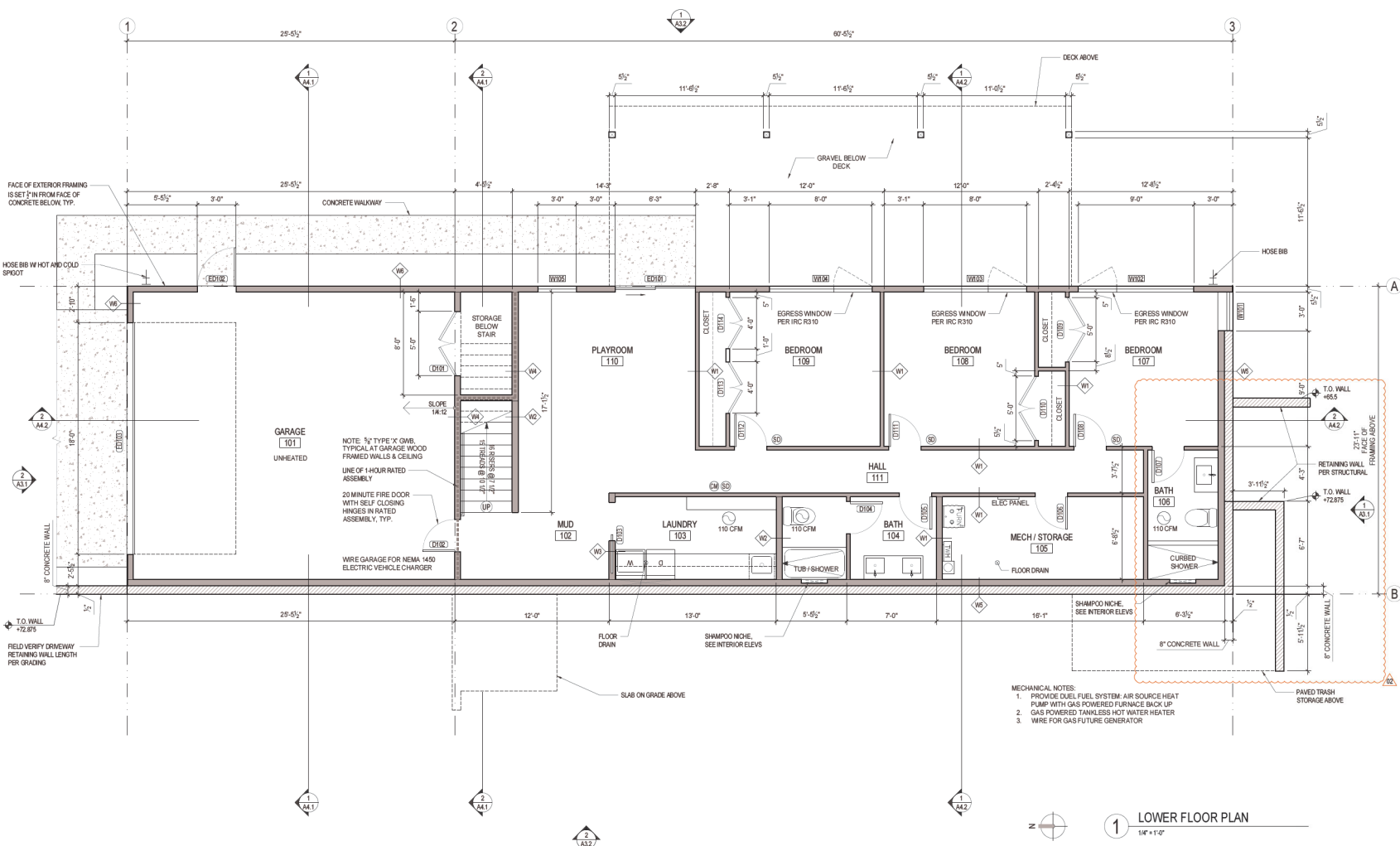


DATE:
MARCH 27, 2022

SHEET TITLE:
LOWER FLOOR PLAN

SHEET:

A2.2



GENERAL NOTES:

1. REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
2. REFER TO SHEET A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
3. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE
4. INTERIOR DOORS TO BE 4'-1/2" FROM FACE OF STUD, UNLESS NOTED OTHERWISE
5. SMOKE DETECTORS TO BE INTERCONNECTED PER IRC R314.4
6. HARDWIRED TO BUILDING WIRING WITH BATTERY BACKUP PER IRC R314.6
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10. WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION

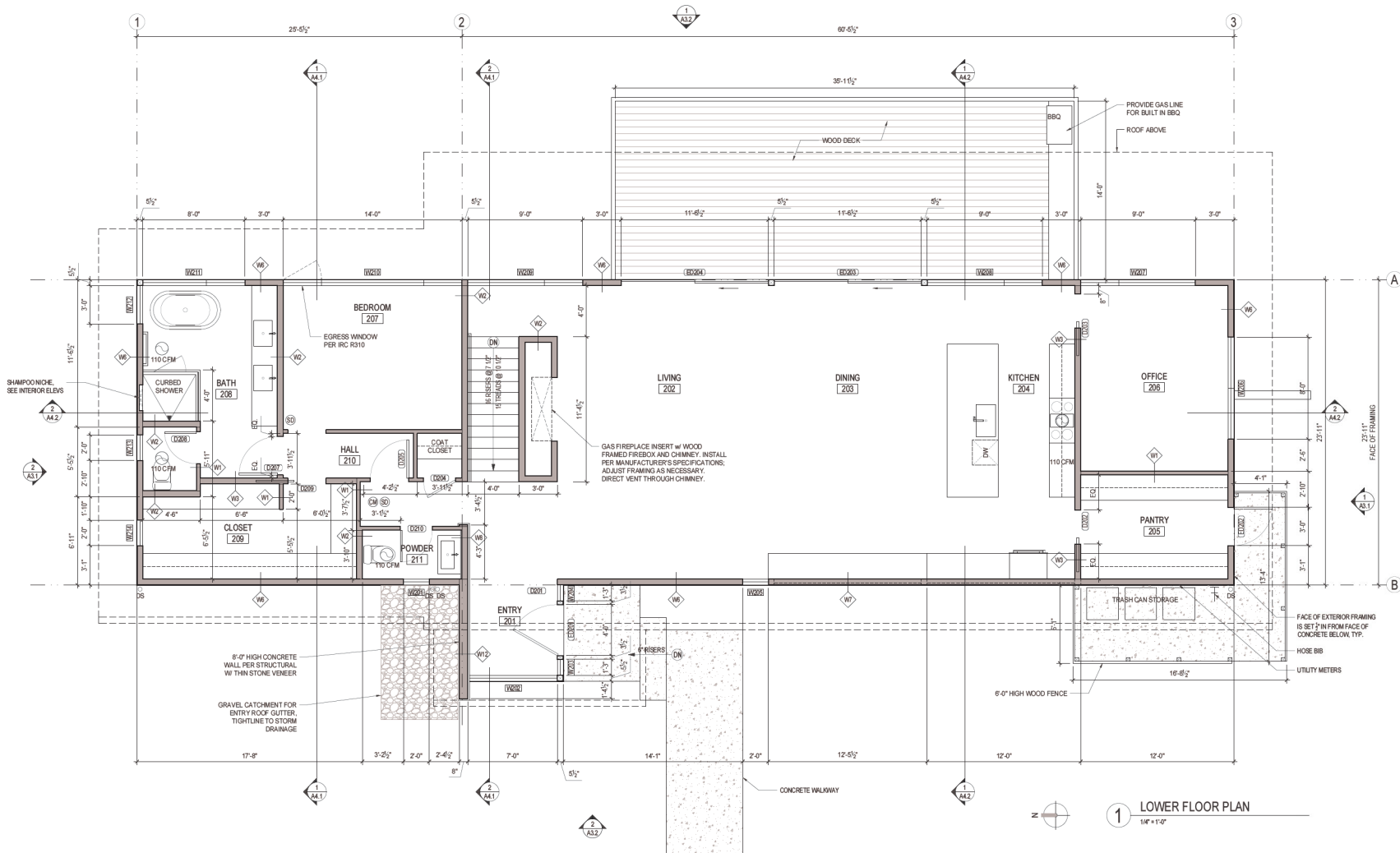
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DATE:
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SHEET TITLE:
UPPER FLOOR PLAN

SHEET:

1 LOWER FLOOR PLAN
1/4" = 1'-0"

A2.3

GENERAL NOTES:

1. REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
2. REFER TO SHEET A4.1 FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
3. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE
4. INTERIOR DOORS TO BE 4'-1/2" FROM FACE OF STUD, UNLESS NOTED OTHERWISE
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9. GARAGE WALLS AND CEILING TO HAVE 5/8" TYPE 'X' GWB
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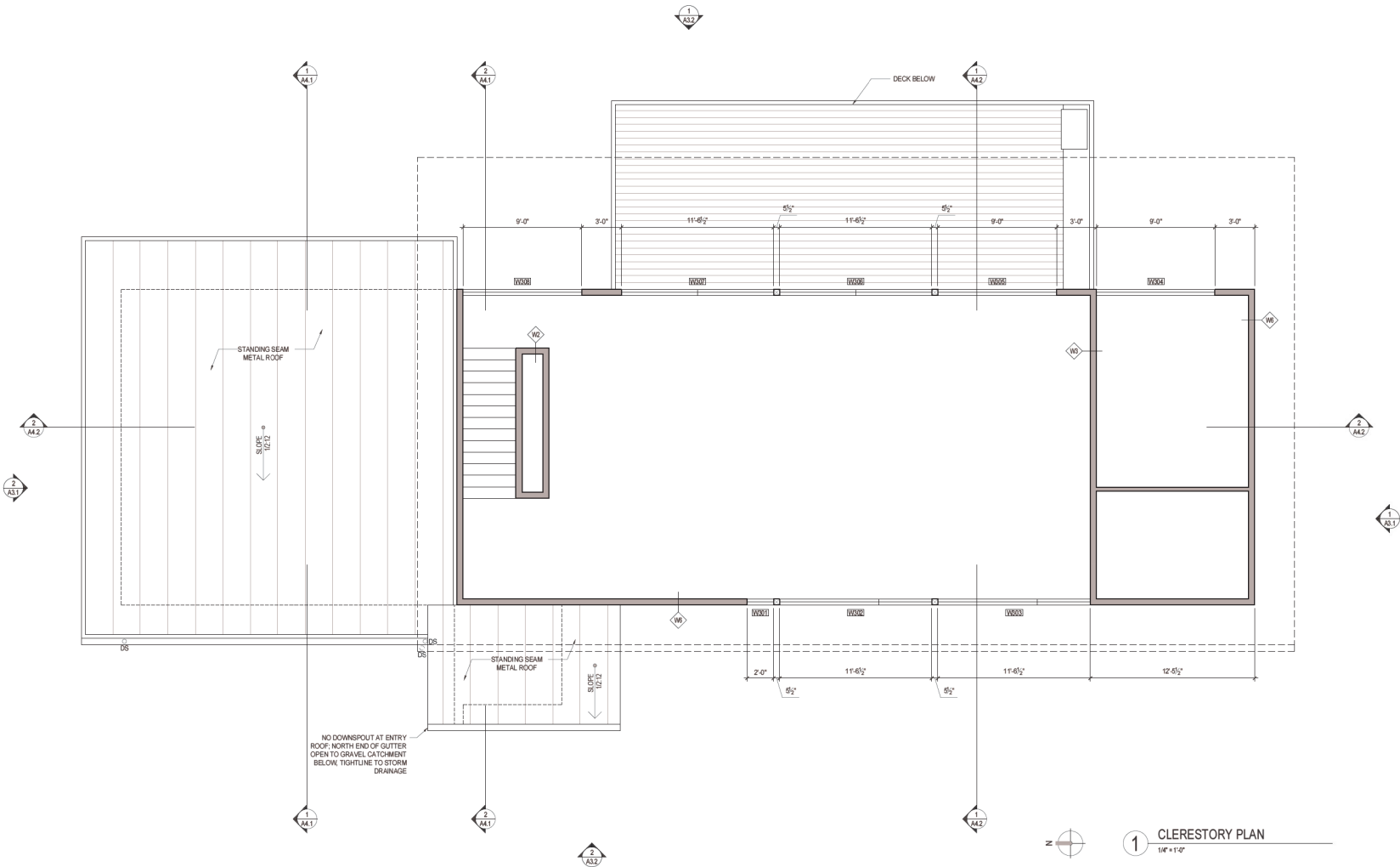


DATE:
MARCH 27, 2022

SHEET TITLE:
CLERESTORY PLAN

SHEET:

A2.4



GENERAL NOTES:

1. REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE AND FRAMING SPECIFICATIONS
2. REFER TO SHEET A5.1 FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
3. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE LINO.
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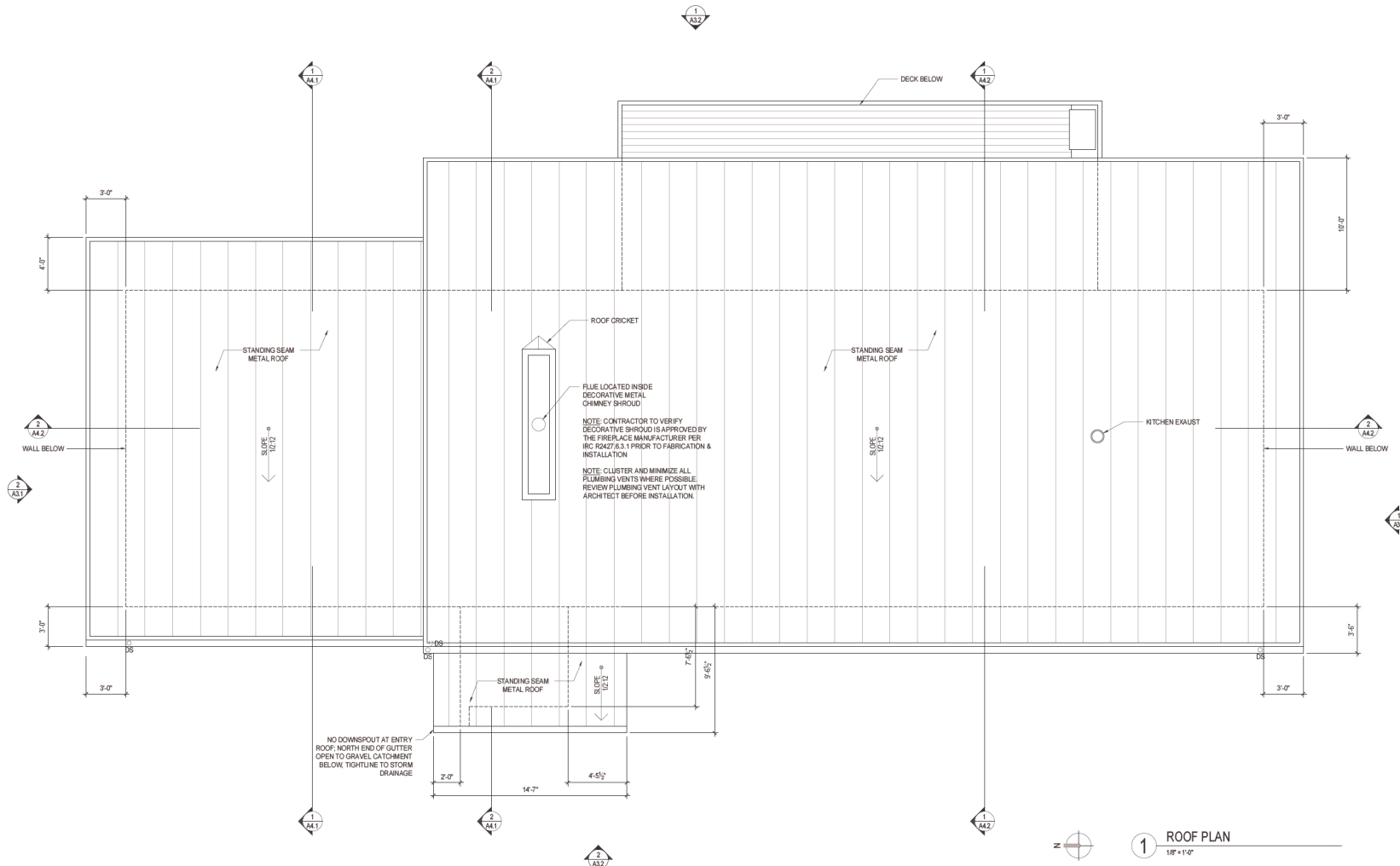


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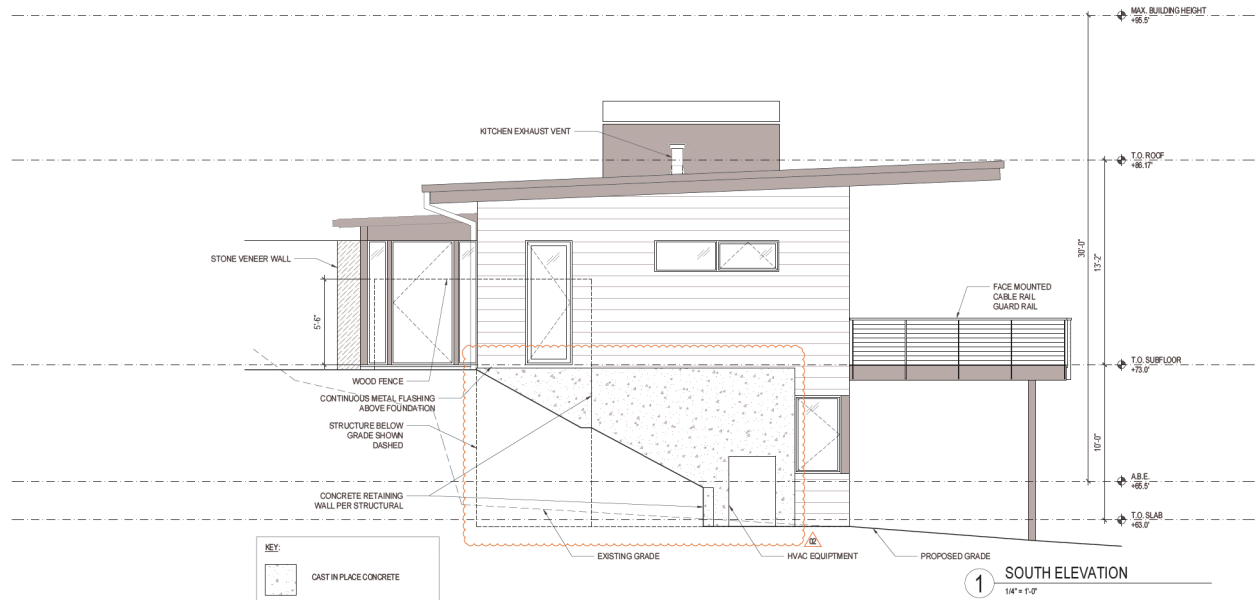
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ROOF PLAN

SHEET:

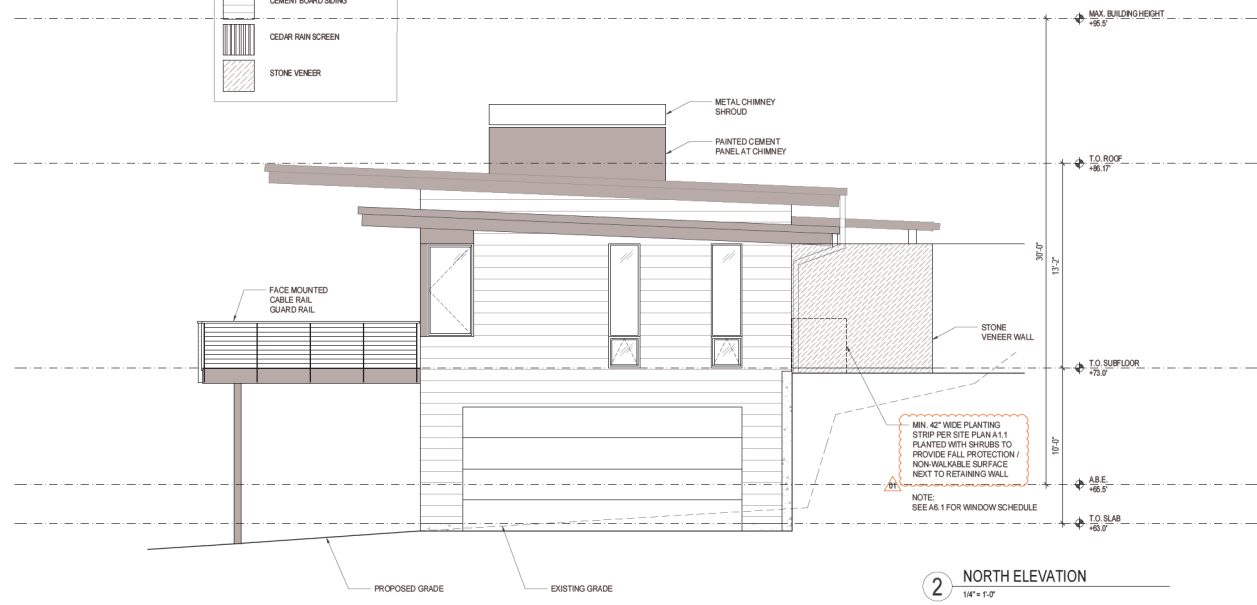
A2.5



1 ROOF PLAN
1/8" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

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DATE:
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SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET:

A3.1

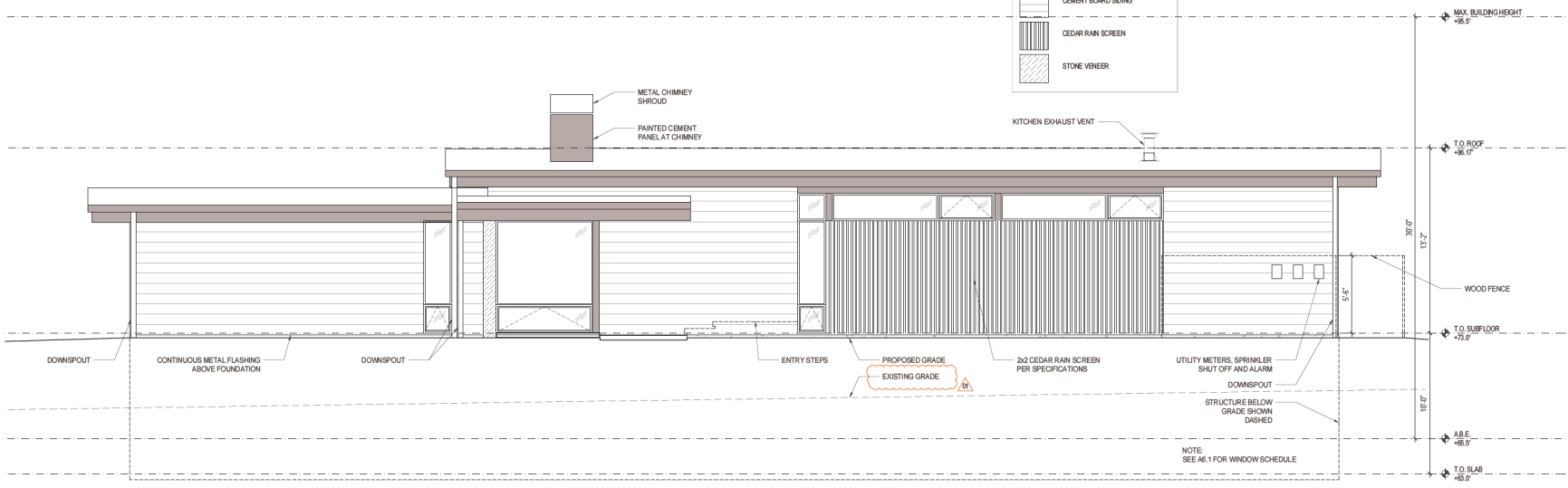
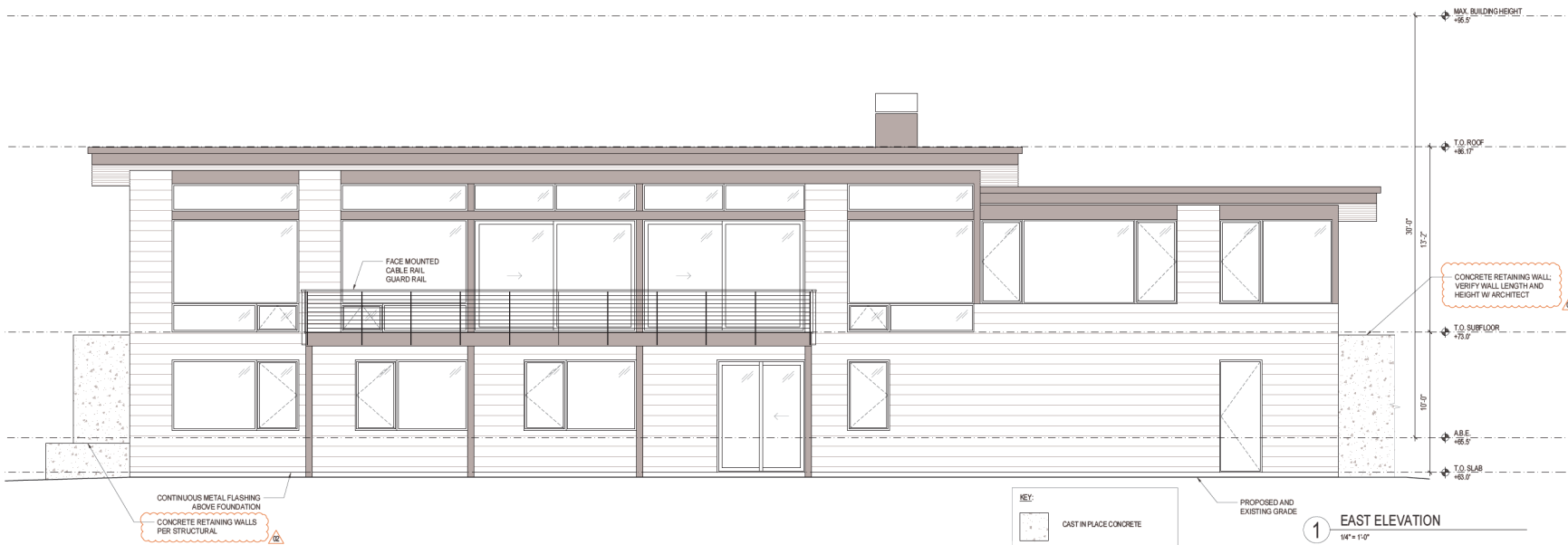
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SHEET TITLE:
EXTERIOR ELEVATIONS

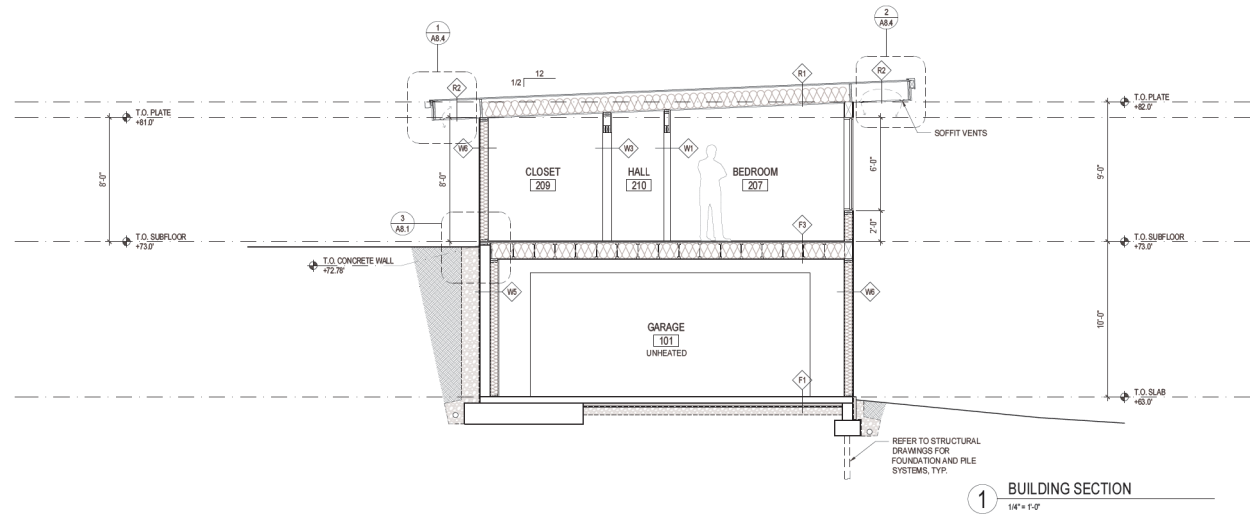
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A3.2

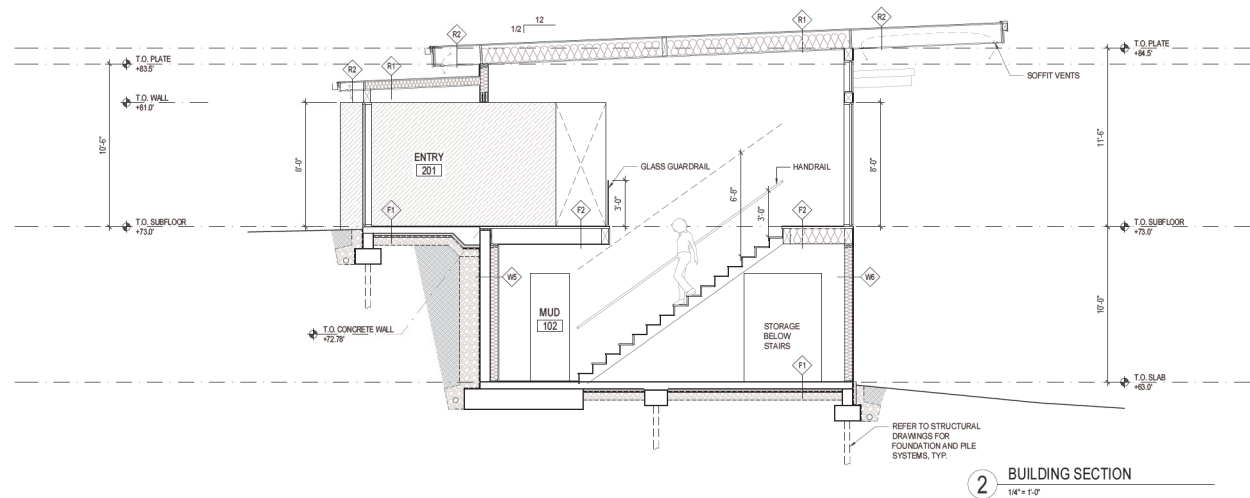
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1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



DATE:
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SHEET TITLE:
BUILDING SECTIONS

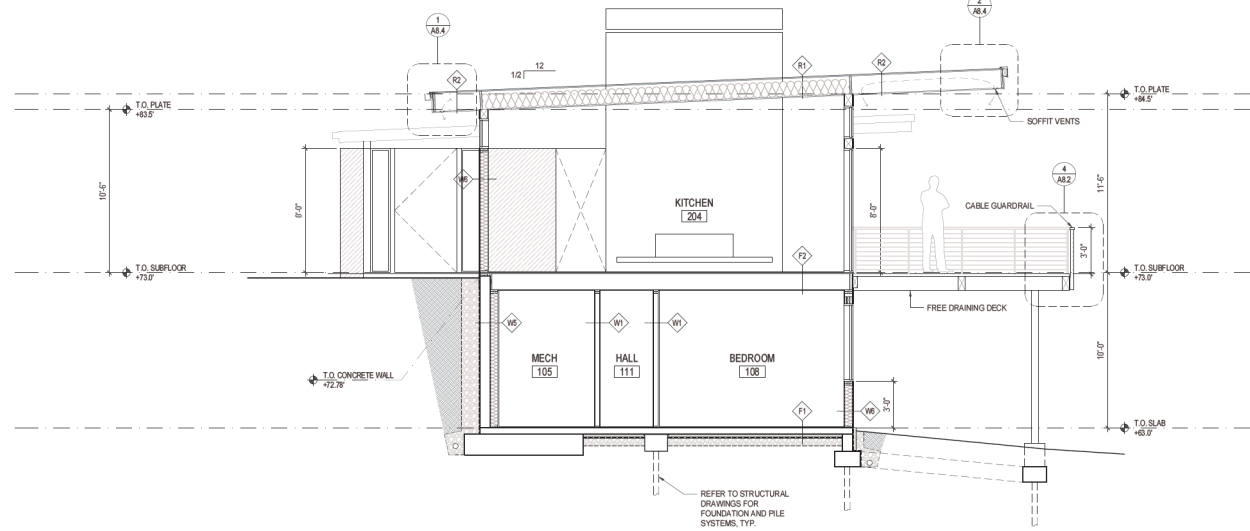
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A4.1

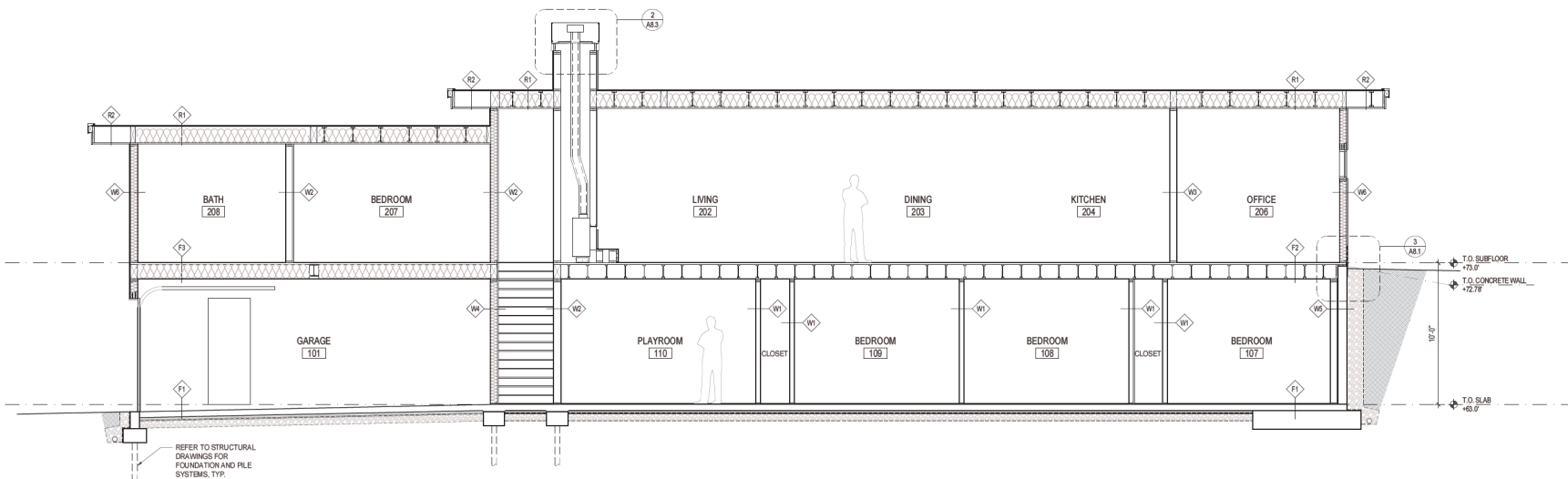
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1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"

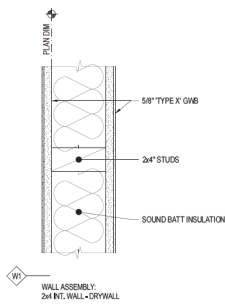


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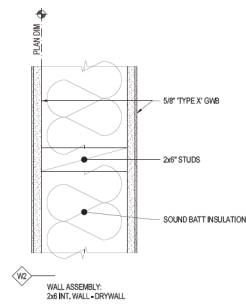
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BUILDING SECTIONS

SHEET:

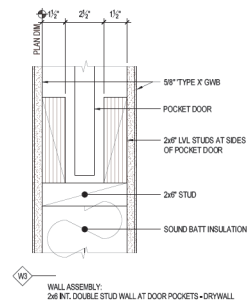
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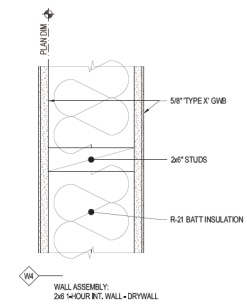
1 INTERIOR WALL ASSEMBLY
3" = 1'-0"



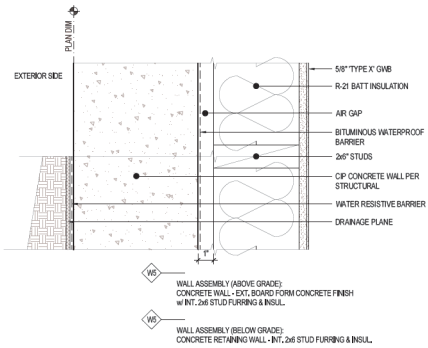
2 INTERIOR WALL ASSEMBLY
3" = 1'-0"



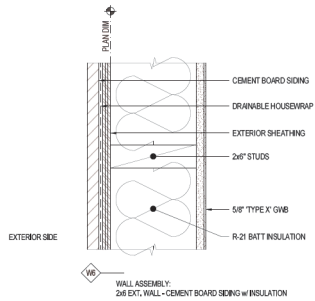
3 INTERIOR WALL ASSEMBLY
3" = 1'-0"



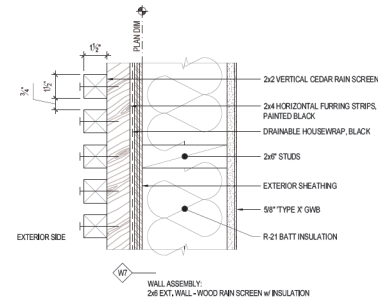
4 INTERIOR WALL ASSEMBLY
3" = 1'-0"



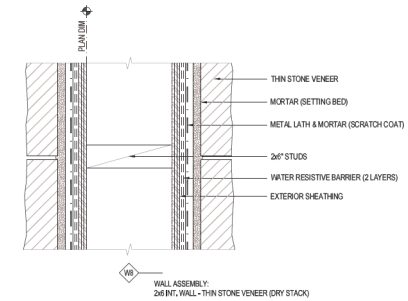
5 EXTERIOR WALL ASSEMBLY
3" = 1'-0"



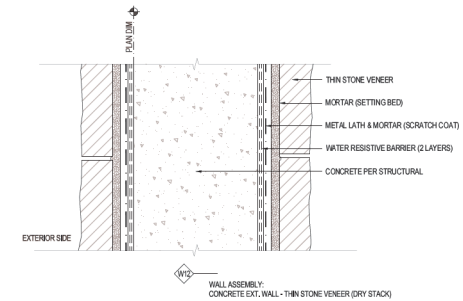
6 EXTERIOR WALL ASSEMBLY
3" = 1'-0"



7 EXTERIOR WALL ASSEMBLY
3" = 1'-0"

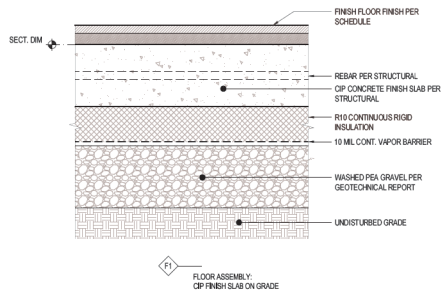


8 INTERIOR WALL ASSEMBLY
3" = 1'-0"

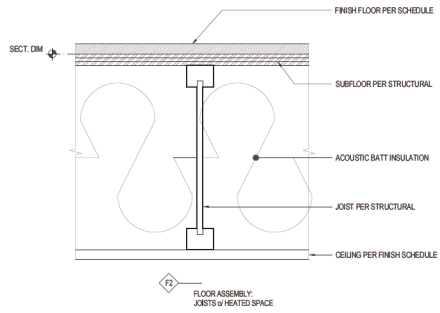


12 EXTERIOR WALL ASSEMBLY
3" = 1'-0"

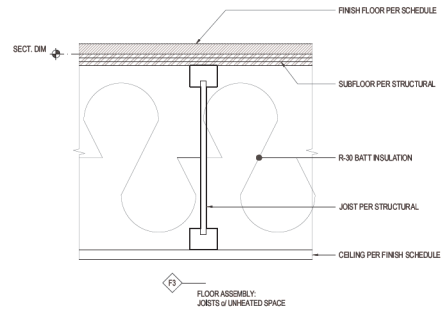




1 FLOOR ASSEMBLY
3' x 1'-0"



2 FLOOR ASSEMBLY
3' x 1'-0"



3 FLOOR ASSEMBLY
3' x 1'-0"

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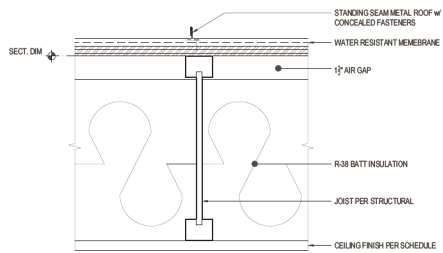


DATE:
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SHEET TITLE:
FLOOR ASSEMBLIES

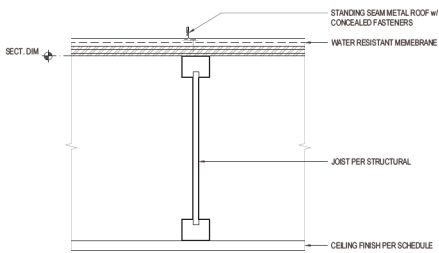
SHEET:

A5.2



R1
ROOF ASSEMBLY:
STANDING SEAM METAL ROOF - VENTILATED w/ INSULATION

1 ROOF ASSEMBLY
3" = 1'-0"



R2
ROOF ASSEMBLY:
STANDING SEAM METAL ROOF - VENTILATED w/o INSULATION

2 ROOF ASSEMBLY
3" = 1'-0"

PROJECT:
BIRD MCDONALD RESIDENCE
4304 E MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
CARLY BIRD-VOGEL & PAUL MCDONALD
4304 E MERCER WAY
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SUBMISSION 2021-10-25
PERMIT CORRECTION 2022-02-24
PERMIT CORRECTION 2022-03-27



DATE:
MARCH 27, 2022

SHEET TITLE:
ROOF ASSEMBLIES

SHEET:

A5.3

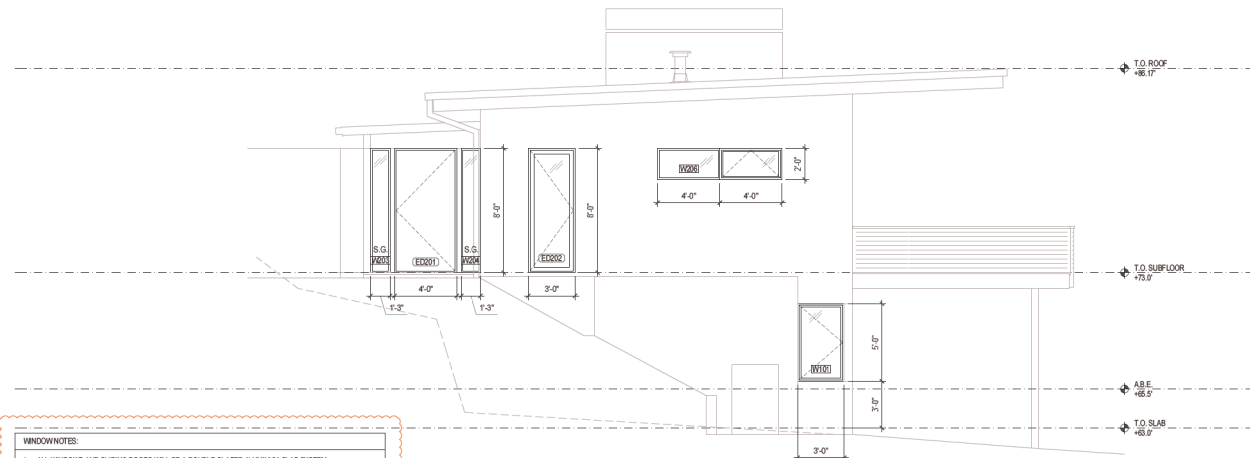
PROJECT:
BIRD MCDONALD RESIDENCE
4304 E MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
CARLY BIRD-VOGEL & PAUL MCDONALD
4304 E MERCER WAY
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SUBMISSION 2021-10-25


PERMIT CORRECTION  2022-02-24

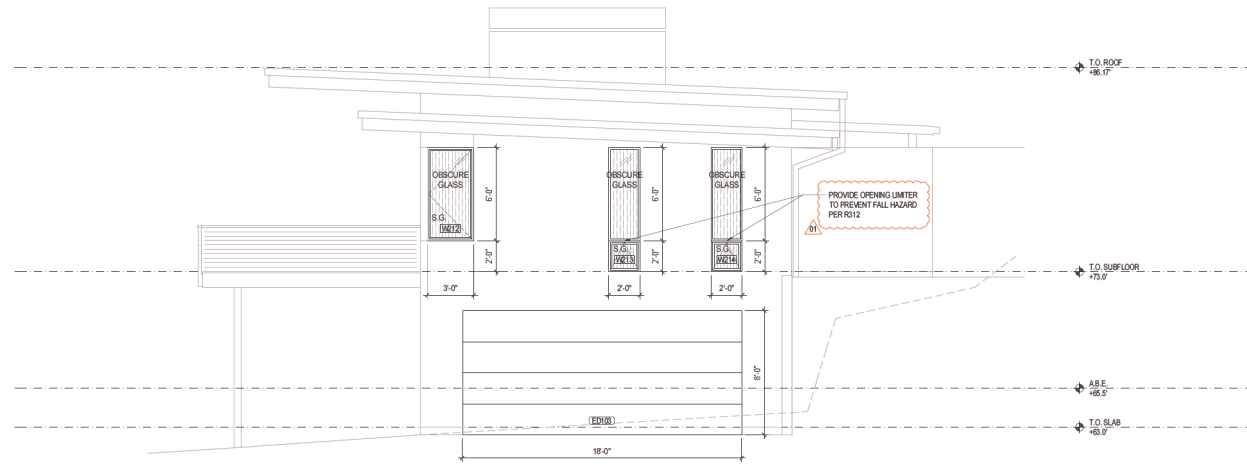
PERMIT CORRECTION  2022-03-27



1 SOUTH ELEVATION
1/4" = 1'-0"

- WINDOW NOTES:**
1. ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM
 2. WINDOWS U-VALUE: MAX 0.24 LOW E, ARGON
 3. SLIDING DOORS U-VALUE: MAX 0.24 LOW E, ARGON
 4. ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES
 5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS
 6. CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2015 IRC R.308
 7. THE "IF RC" WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION
 8. FLOOR MOUNTED OPERABLE WINDOWS SHALL BE SET WITH OPENING LIMITERS TO PREVENT FALL HAZARD. TYPICAL WINDOW OPENINGS LOCATED MORE THAN 7' ABOVE EXTERIOR FINISHED GRADE AND WITH OPENINGS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR SHALL NOT PERMIT THE PASSAGE OF 4" SPHERE

WINDOW KEY:
S.G. - SAFETY GLASS, TEMPERED
 OBSCURE GLASS, FROSTED



2 NORTH ELEVATION
1/4" = 1'-0"



DATE:
MARCH 27, 2022

SHEET TITLE:
WINDOW SCHEDULE

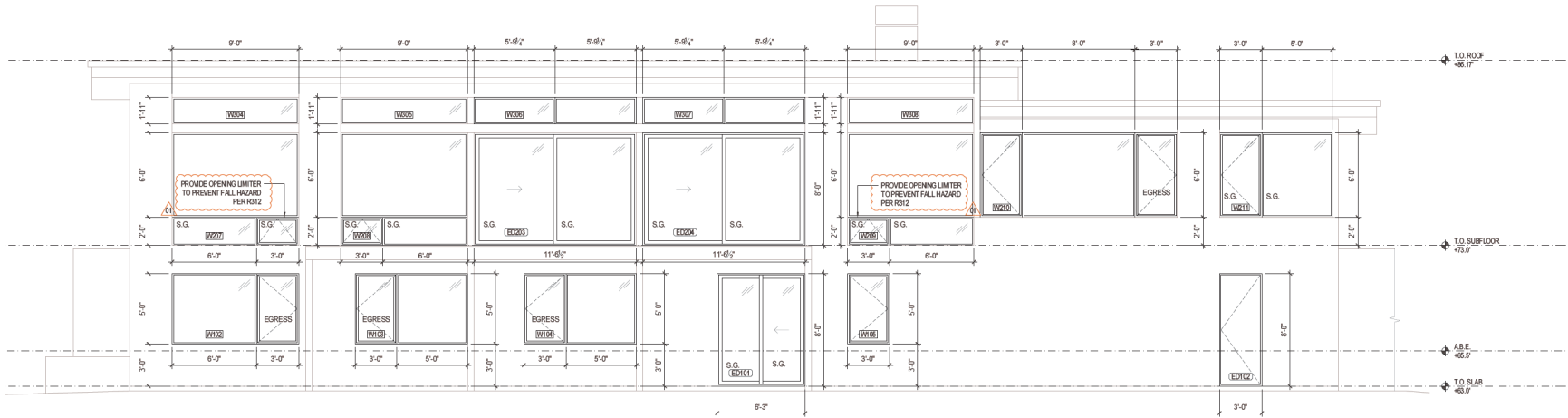
SHEET:

A6.1

PROJECT:
BIRD MCDONALD RESIDENCE
4304 E MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
CARLY BIRD-VOGEL & PAUL MCDONALD
4304 E MERCER WAY
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SUBMISSION 2021-10-25
PERMIT CORRECTION 2022-02-24
PERMIT CORRECTION 2022-03-27



WINDOW NOTES:

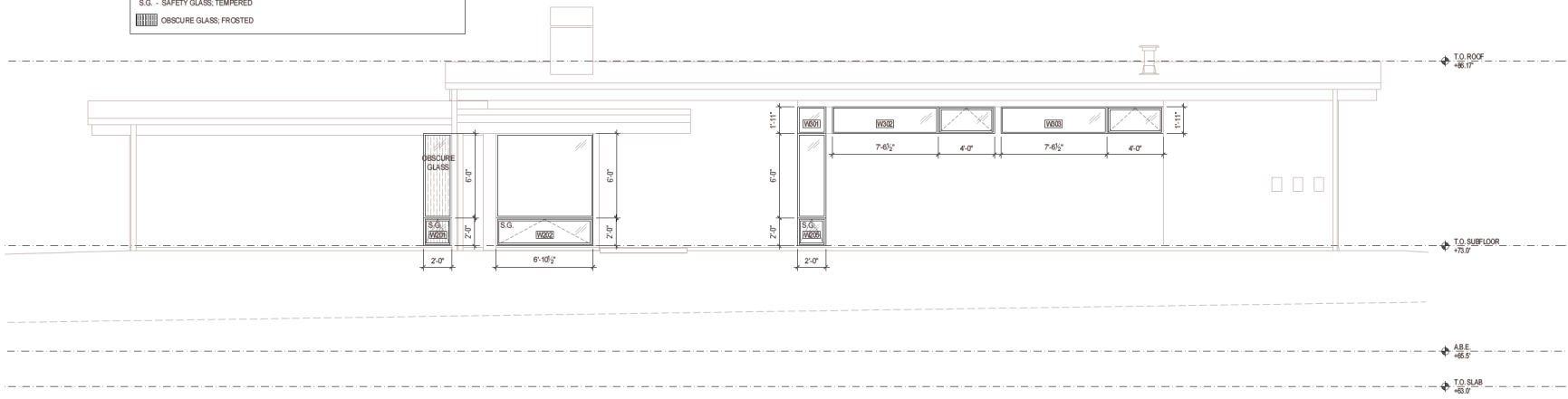
1. ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM
2. WINDOWS U-VALUE: MAX 0.24 LOWE U, AIRSON
3. SLIDING DOORS U-VALUE: MAX 0.24 LOWE U, AIRSON
4. ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS
6. CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2015 IRC R.308
7. THE NFRC WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION
8. FLOOR MOUNTED OPERABLE WINDOWS SHALL BE SET WITH OPENING LIMITERS TO PREVENT FALL HAZARD, TYPICAL WINDOW OPENINGS LOCATED MORE THAN 72\"/>

WINDOW KEY:

S.G. - SAFETY GLASS, TEMPERED

OBSCURE GLASS, FROSTED

2 EAST ELEVATION
1/4\"/>



2 WEST ELEVATION
1/4\"/>



DATE:
MARCH 27, 2022

SHEET TITLE:
WINDOW SCHEDULE

SHEET:

A6.2

WRITTEN DIMENSIONS:

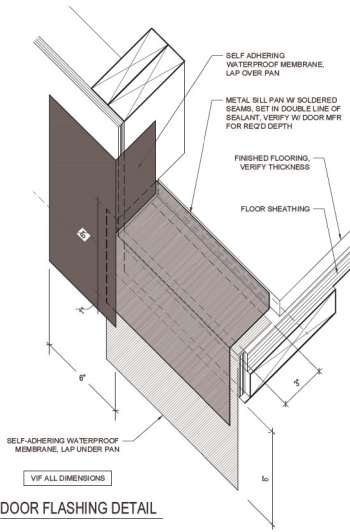
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING/ INSTALLING THE SAME. TYPICAL.

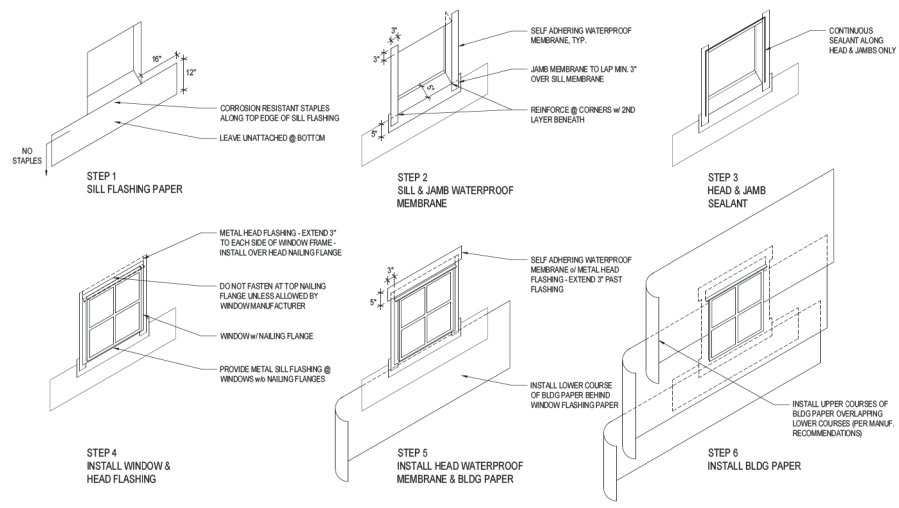
BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

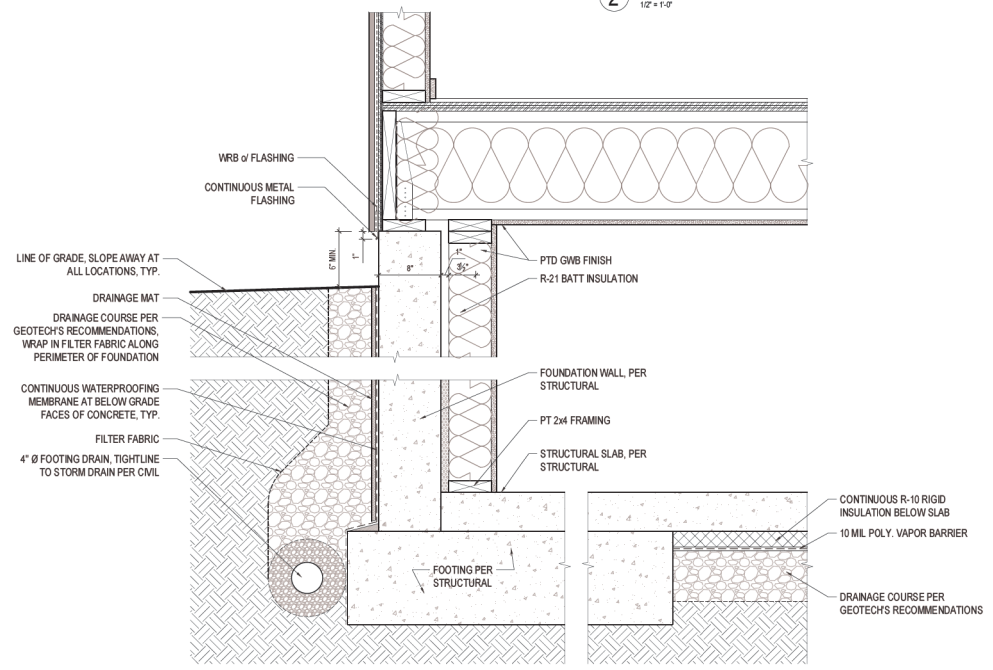
3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



1 TYPICAL DOOR FLASHING DETAIL
3/8" = 1'-0"



2 TYPICAL WINDOW FLASHING DETAILS
1/2" = 1'-0"



3 TYP. FOOTING DETAIL
1 1/2" = 1'-0"



WRITTEN DIMENSIONS:

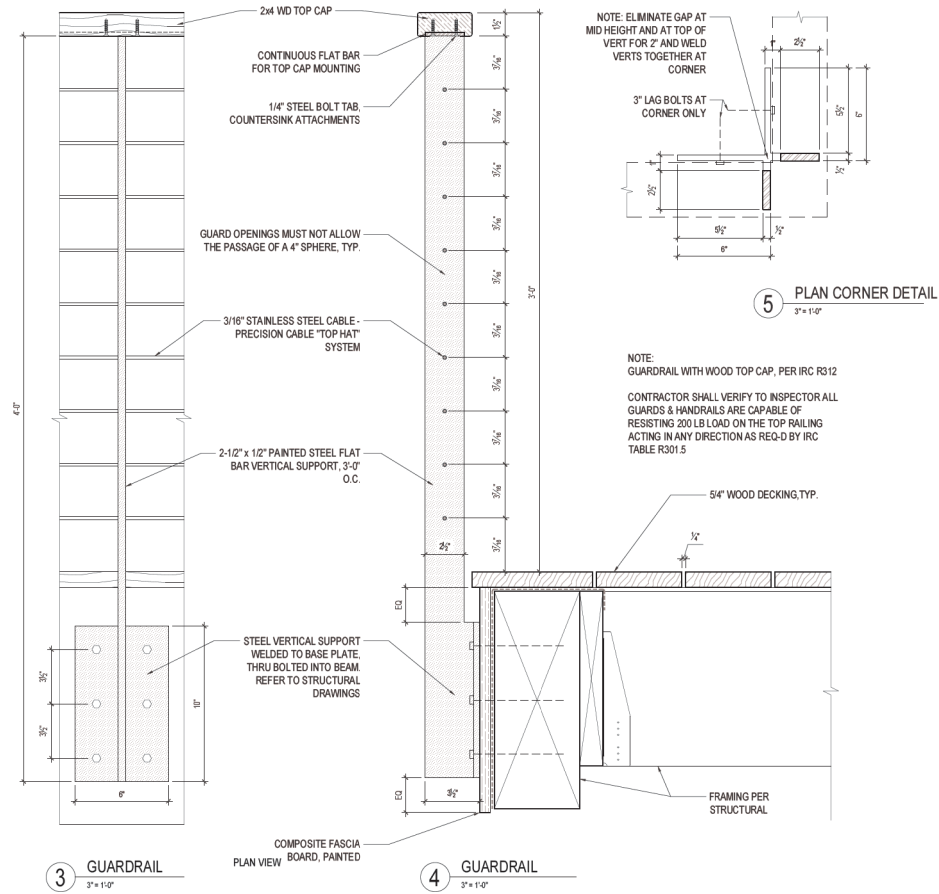
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

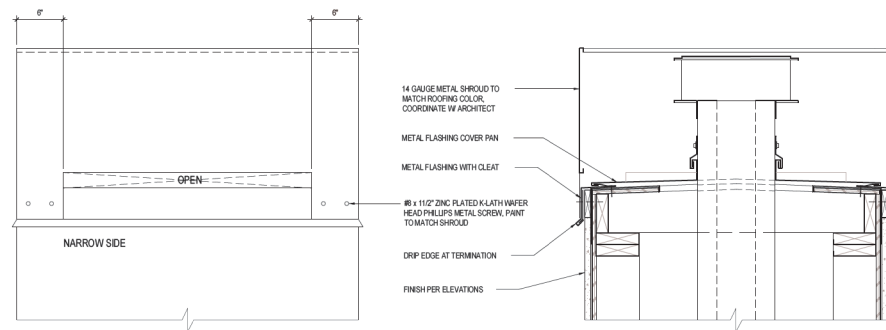
3. CONTRACTOR SHALL FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS, TYPICAL.



PROJECT:
BIRD MCDONALD RESIDENCE
4304 E MERCER WAY
MERCER ISLAND, WA 98040

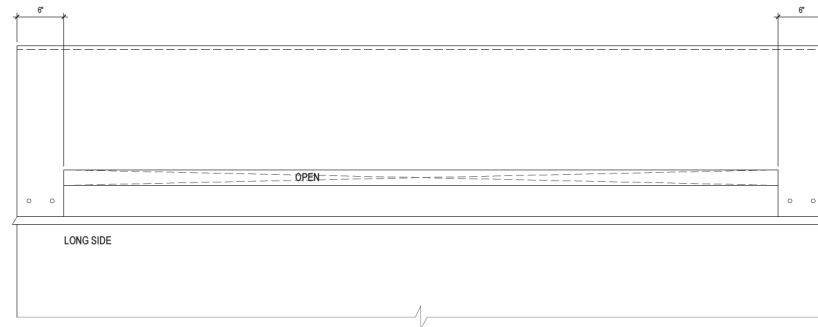
CLIENT:
CARLY BIRD-VOGEL & PAUL MCDONALD
4304 E MERCER WAY
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SUBMISSION 2021-10-25
PERMIT CORRECTION 2022-02-24
PERMIT CORRECTION 2022-03-27



① CHIMNEY SHROUD - SHORT ELEV.
1 1/2" = 1'-0"

② CHIMNEY SHROUD - SECTION DETAIL
1 1/2" = 1'-0"



③ CHIMNEY SHROUD - LONG ELEV.
1 1/2" = 1'-0"



DATE:
MARCH 27, 2022

SHEET TITLE:
CHIMNEY SHROUD
DETAILS

SHEET:

A8.3

WRITTEN DIMENSIONS:

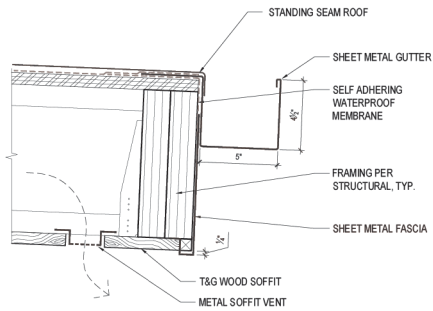
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

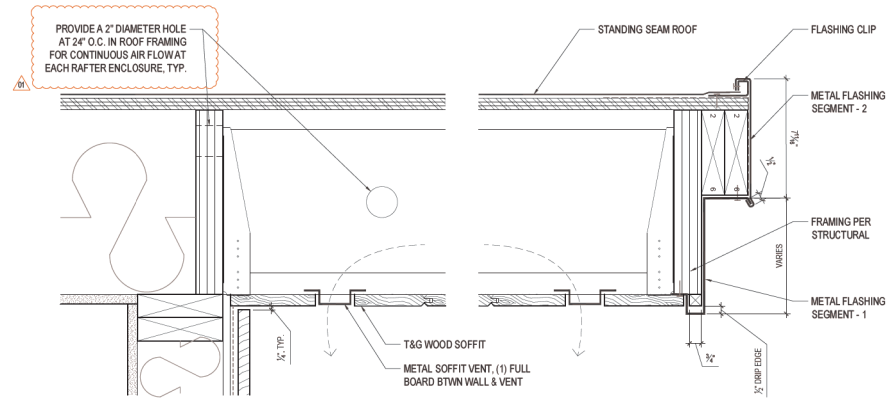
BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



1 TYP. GUTTER DETAIL
3" = 1'-0"



2 TYP. RAKE / PEAK DETAIL
3" = 1'-0"

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MERCER ISLAND, WA 98040

ISSUE:
PERMIT SUBMISSION 2021-10-25
PERMIT CORRECTION 2022-02-24
PERMIT CORRECTION 2022-03-27



DATE:
MARCH 27, 2022

SHEET TITLE:

ROOF
DETAILS

SHEET:

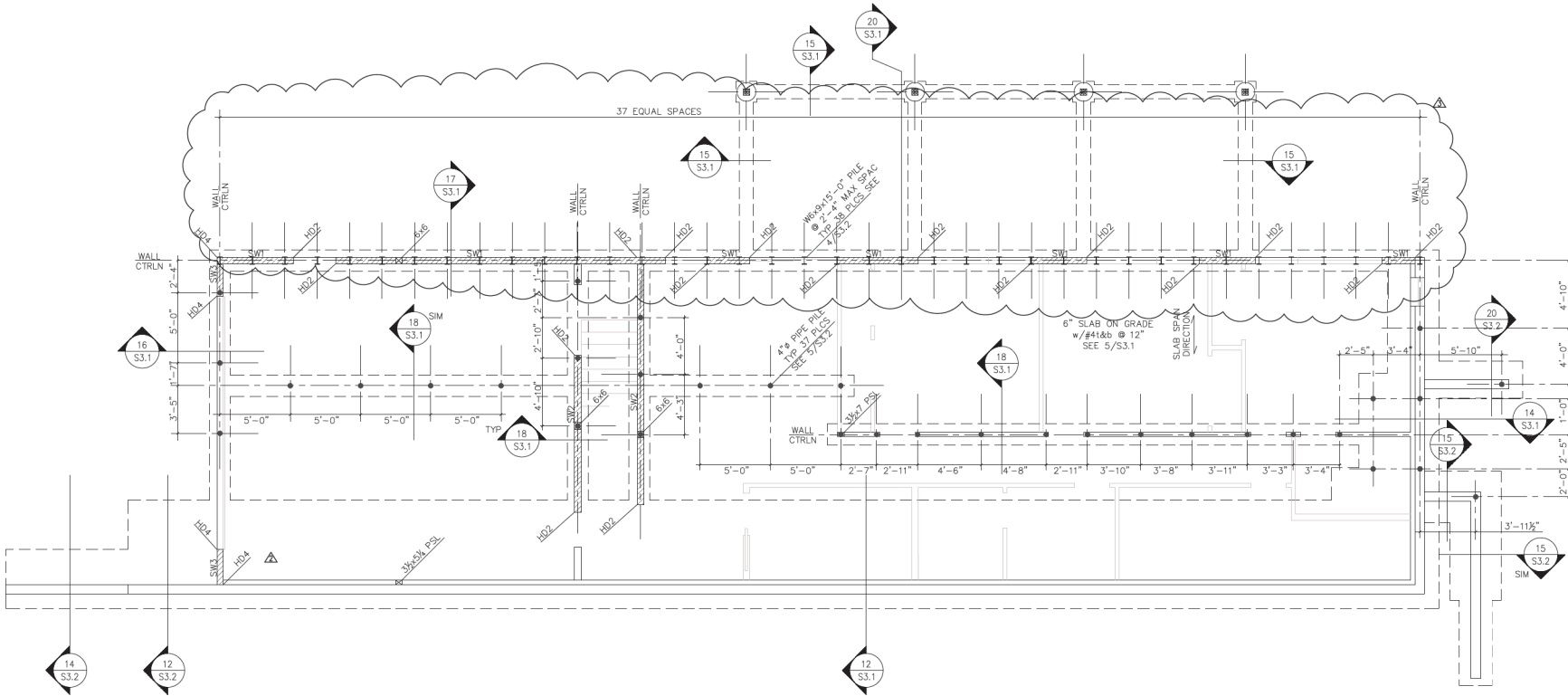
A8.4



PROJECT:
 BIRD McDONALD RESIDENCE
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 PAUL McDONALD & CARLY BIRD-VOGEL
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SET 09/21/2021
 PERMIT COMMENTS 03/22/2022
 PERMIT COMMENTS II 03/28/2022
 SLOPE STABILITY REVISION 05/26/2022



1 BASEMENT PLAN W PILE OPTION
 SCALE: 1/4" = 1'-0"

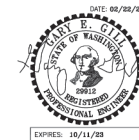
DATE:
 21 SEPT 2021

SHEET TITLE:
 BASEMENT PLAN

SHEET:
 S2.1

GARY GILL, SE
 1125 NE 150th STREET
 SHORELINE, WA 98155
 PH: 206-992-2729
 GLL25998@YAHO.COM

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PROJECT:
 BIRD McDONALD RESIDENCE
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 PAUL McDONALD & CARLY BIRD-VOGEL
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SET 09/21/2021
 PERMIT COMMENTS I 03/22/2022
 PERMIT COMMENTS II 03/28/2022



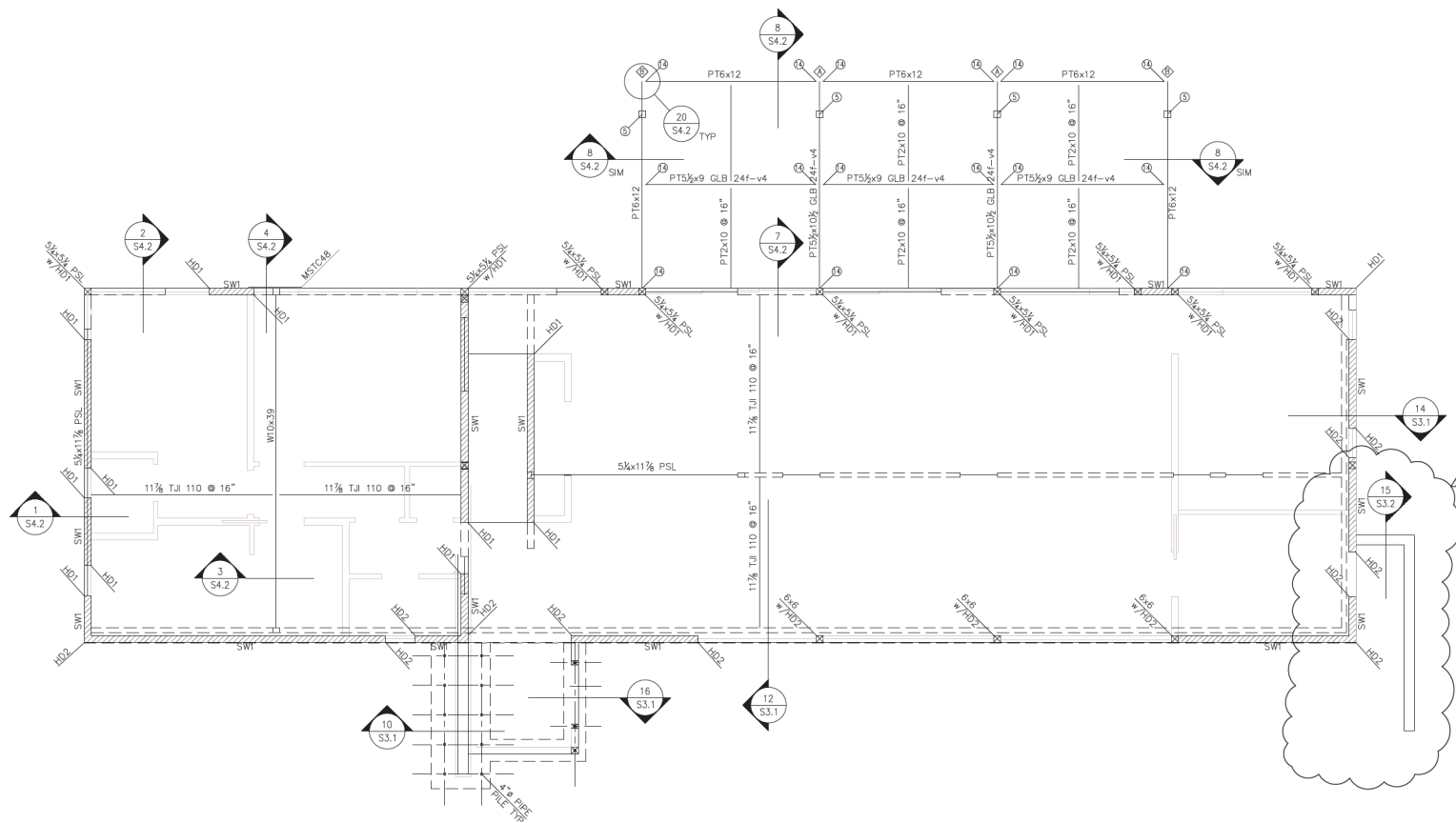
REVIEWED
 FOR CODE
 COMPLIANCE
 June 07, 2022
 SITE COPY

DATE:
 21 SEPT 2021

SHEET TITLE:
 1ST FLR FRAMING
 & GAR FLR PLAN

SHEET:

S2.2



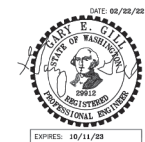
MARK	HANGER
1	HUC0410
2	HUC0610
3	HUC0412
4	HUC0612
5	ACB MAX (HDC @ DECK)
6	HUC01 @ 11'-00"
7	HUC04 @ MAX
8	HUC010 MAX
9	HUC08 MAX @ A35 TOP
10	A35 TOP @ 012
11	HUC414-2 MAX
12	LPCBZ
13	HUC08 MAX
14	HUC0610 HDC

NOTES:
 1. WHEN CALLOUT HAS AN ASTERISK, HANGER IS INVERTED.

1 1st FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

GARY GILL, SE
 1125 NE 15th STREET
 SHORELINE, WA 98155
 PH: 206-992-2729
 GILL2698@YAHOO.COM

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PROJECT:

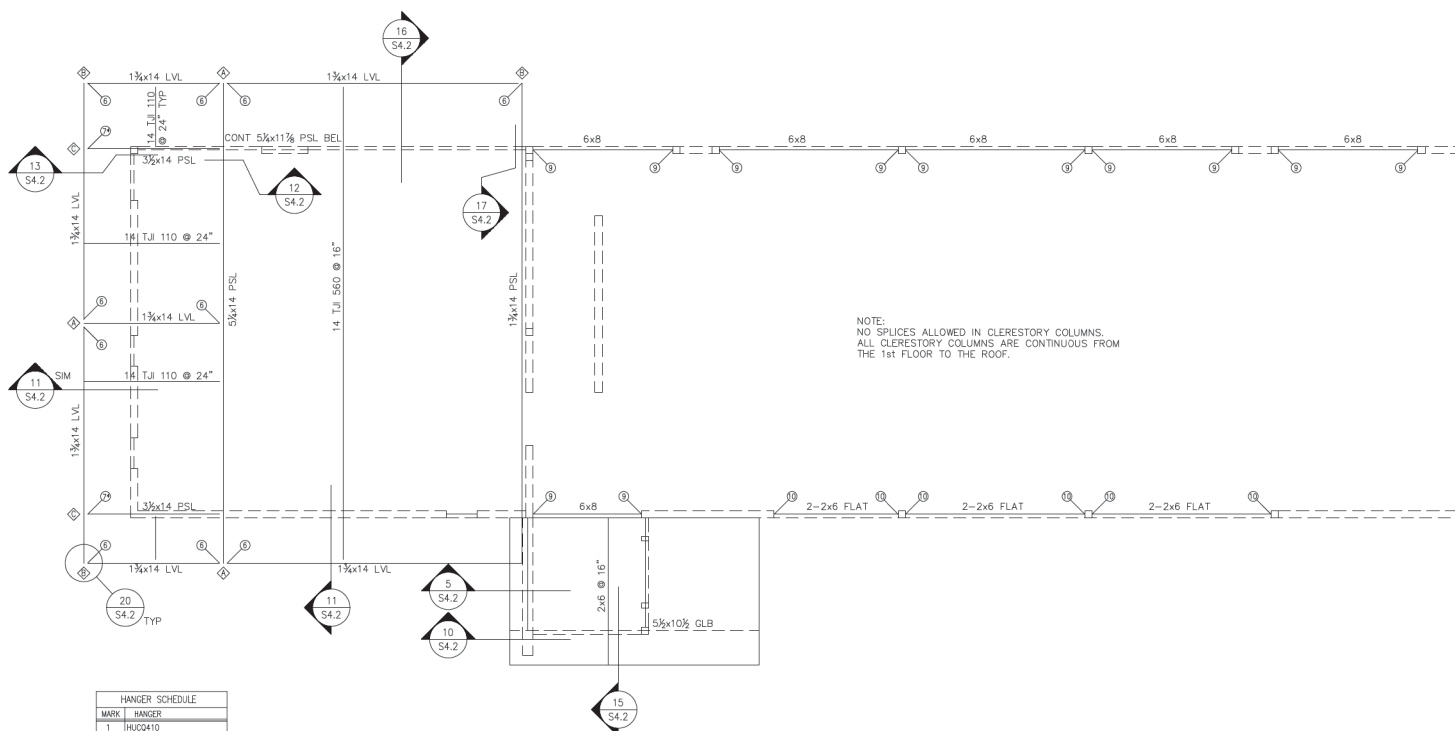
BIRD McDONALD RESIDENCE
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:

PAUL McDONALD & CARLY BIRD-VOGEL
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

ISSUE:

PERMIT SET 09/21/2021
 PERMIT COMMENTS 03/22/2022
 PERMIT COMMENTS II 03/28/2022



HANGER SCHEDULE	
MARK	HANGER
1	HUC0410
2	HUC0810
3	HUC0412
4	HUC0812
5	ACE MAX (HDC @ DECK)
6	HUC01.81/11-SIS
7	HUC416 MAX
8	HUC310 MAX
9	HUC68 MAX w/A35 TOP
10	A35 TOP & BOT
11	HUC414-2 MAX
12	LEPS2
13	HUC68 MAX
14	HUC0810 HDC

NOTES:
 1. WHEN CALLOUT HAS AN
 ASTERISK, HANGER IS INVERTED.

1 LOWER ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"

DATE:
21 SEPT 2021

SHEET TITLE:
 LOWER ROOF

FRAMING PLAN

SHEET:

S2.3



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 1125 NE 15th STREET
 SHORELINE, WA 98155
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 GILL2698@AHO.COM

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PROJECT:

BIRD McDONALD RESIDENCE
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:

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 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

ISSUE:

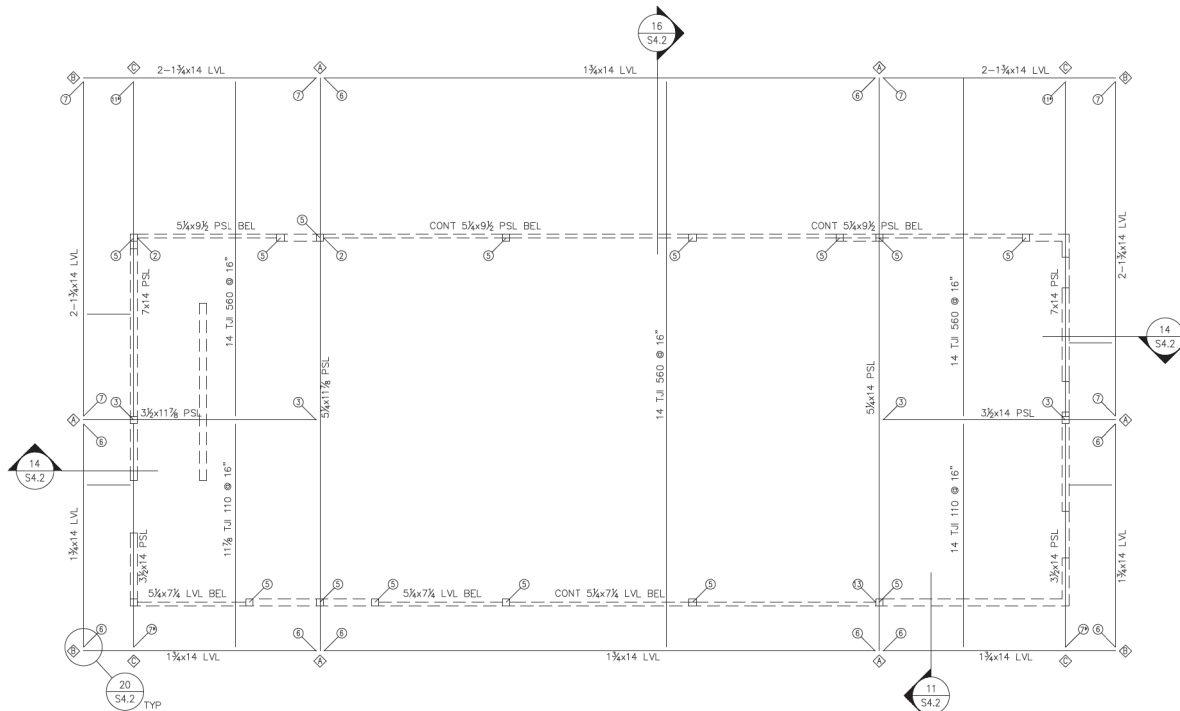
PERMIT SET
 PERMIT COMMENTS I
 PERMIT COMMENTS II

09/21/2021
 03/22/2022
 03/28/2022



HANGER SCHEDULE	
MARK	HANGER
1	HUC0410
2	HUC0410
3	HUC0412
4	HUC0412
5	A35 MAX. HDG. @ DECK
6	HUC0181/11-SIS
7	HUC416 MAX
8	HUC010 MAX
9	HUC08 MAX. w/A35 TOP
10	A35 TOP & BOT
11	HUC414-2 MAX
12	LPC62
13	HUC08 MAX
14	HUC0810 HDG

NOTES:
 1. WHEN CALLOUT HAS AN ASTERISK, HANGER IS INVERTED.



1 ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

DATE:
 21 SEPT 2021

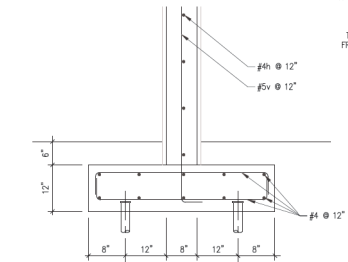
SHEET TITLE:
 ROOF

FRAMING PLAN

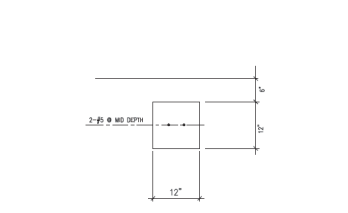
SHEET:

S2.4

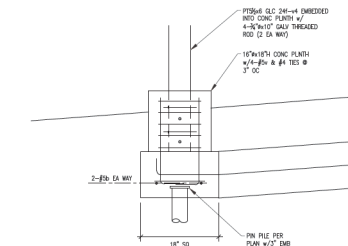
10 TYP SLAB ON GRADE
S3.1 SCALE: 3/4" = 1'-0"



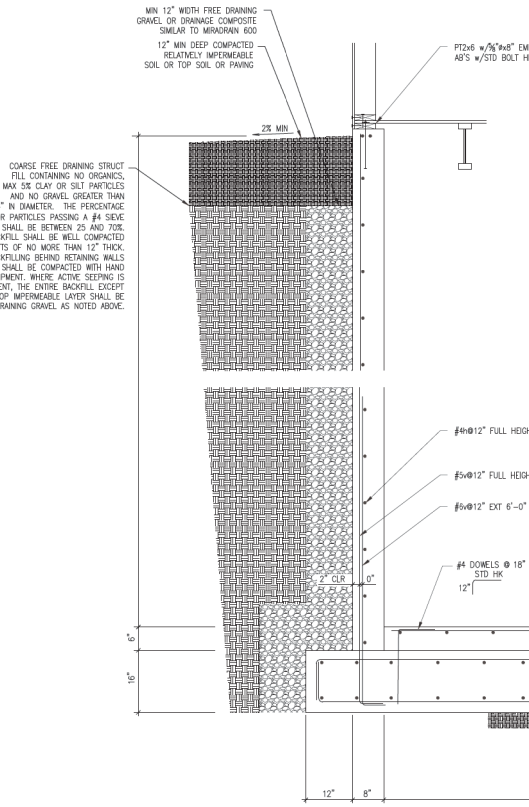
10 SECTION
S3.1 SCALE: 3/4" = 1'-0"



15 SECTION
S3.1 SCALE: 3/4" = 1'-0"

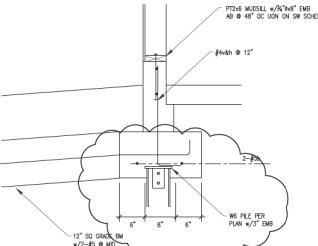


20 SECTION
S3.1 SCALE: 3/4" = 1'-0"

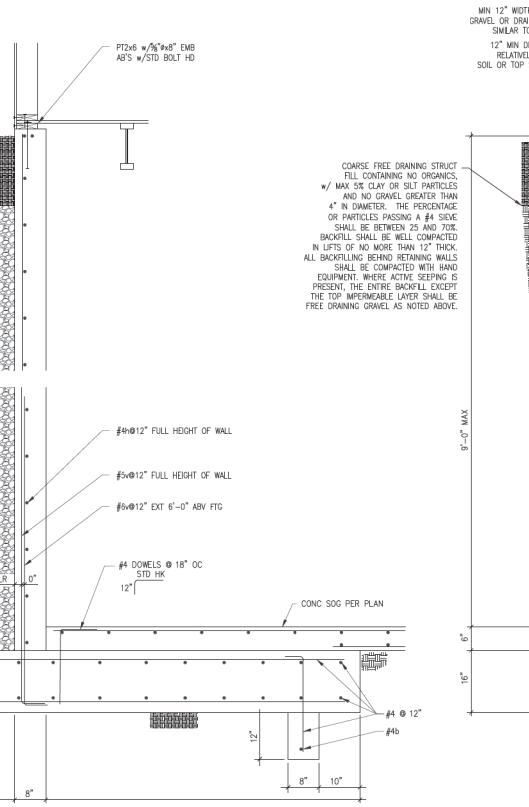


NOTE: SEE ARCH FOR DRAINAGE MATERIAL AND FOOTING DRAINS.

14 SECTION
S3.1 SCALE: 3/4" = 1'-0"

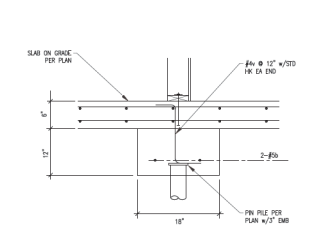


18 SECTION
S3.1 SCALE: 3/4" = 1'-0"

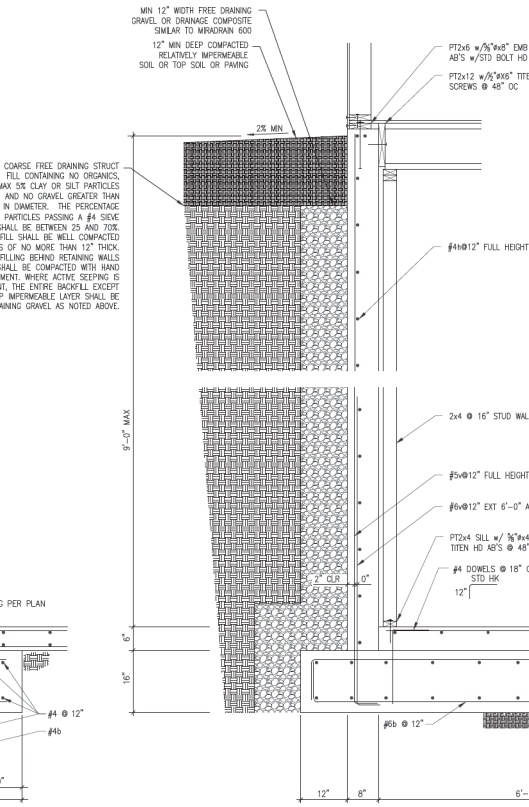


NOTE: SEE ARCH FOR DRAINAGE MATERIAL AND FOOTING DRAINS.

12 SECTION
S3.1 SCALE: 3/4" = 1'-0"

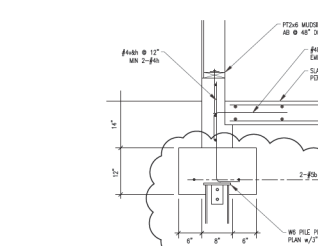


17 SECTION
S3.1 SCALE: 3/4" = 1'-0"

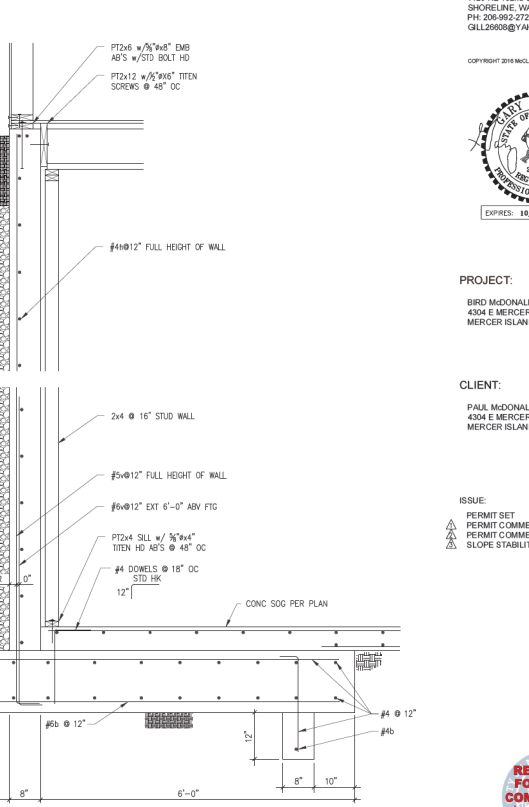


NOTE: SEE ARCH FOR DRAINAGE MATERIAL AND FOOTING DRAINS.

16 SECTION
S3.1 SCALE: 3/4" = 1'-0"

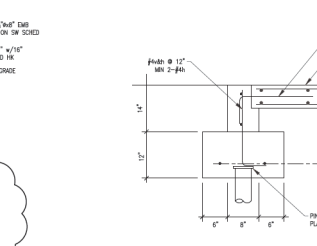


16 SECTION
S3.1 SCALE: 3/4" = 1'-0"



NOTE: SEE ARCH FOR DRAINAGE MATERIAL AND FOOTING DRAINS.

12 SECTION
S3.1 SCALE: 3/4" = 1'-0"

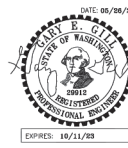


16 SECTION
S3.1 SCALE: 3/4" = 1'-0"



GARY GILL SE
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SHORELINE, WA 98155
PH: 206-993-2730
GILL26988@AHO.COM

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BIRD McDONALD RESIDENCE
4304 E MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
PAUL McDONALD & CARLY BIRD-VOGEL
4304 E MERCER WAY
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SET 09/21/2021
PERMIT COMMENTS 03/22/2022
PERMIT COMMENTS II 03/28/2022
SLOPE STABILITY REVISION 05/26/2022



DATE:
21 SEPT 2021

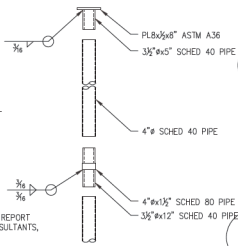
SHEET TITLE:
FOUNDATION

SECTIONS

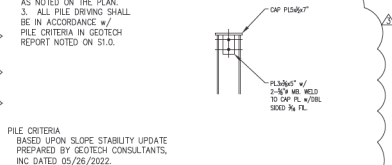
SHEET:

S3.1

PIPE PILE NOTES:
 1. ALL PIPE SHALL BE ASTM A53 GRADE A.
 2. TYP PIPE LENGTHS SHALL BE AS LONG AS POSSIBLE GIVEN THE SITE CONDITIONS.
 3. ALL PILE DRIVING SHALL BE IN ACCORDANCE w/ PILE CRITERIA IN GEOTECH REPORT NOTED ON S1.0.
 4. ALL SLIP JOINTS MUST BE SNUG FIT WITH WELD BEADS INSTALLED TO ACHIEVE SNUG FIT.



W6 PILE NOTES:
 1. ALL W6 SHALL BE ASTM A992.
 2. W6 LENGTHS SHALL BE AS NOTED ON THE PLAN.
 3. ALL PILE DRIVING SHALL BE IN ACCORDANCE w/ PILE CRITERIA IN GEOTECH REPORT NOTED ON S1.0.



PILE CRITERIA
 BASED UPON SLOPE STABILITY UPDATE
 PREPARED BY GEOTECH CONSULTANTS,
 INC. DATED 03/26/2022.

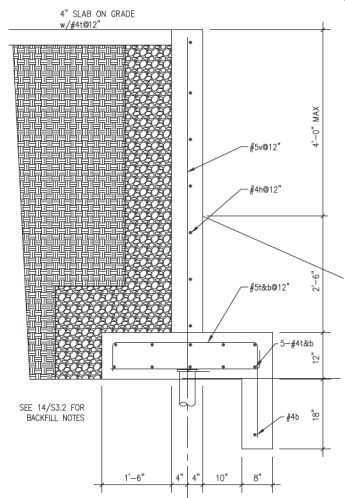
ALLOWABLE BEARING
 W6 20000 LBS

4 TYP W PILE DETAILS
 S3.2 SCALE: 3/4" = 1'-0"

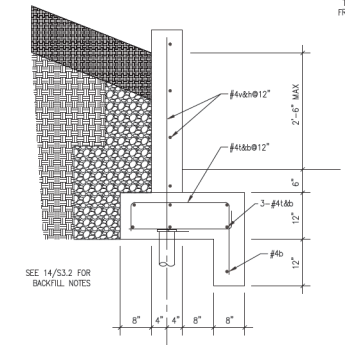
PILE CRITERIA
 BASED UPON GEOTECH REPORT
 PREPARED BY GEOTECH CONSULTANTS,
 INC. DATED 12/11/2020.

ALLOWABLE BEARING
 4" 20000 LBS

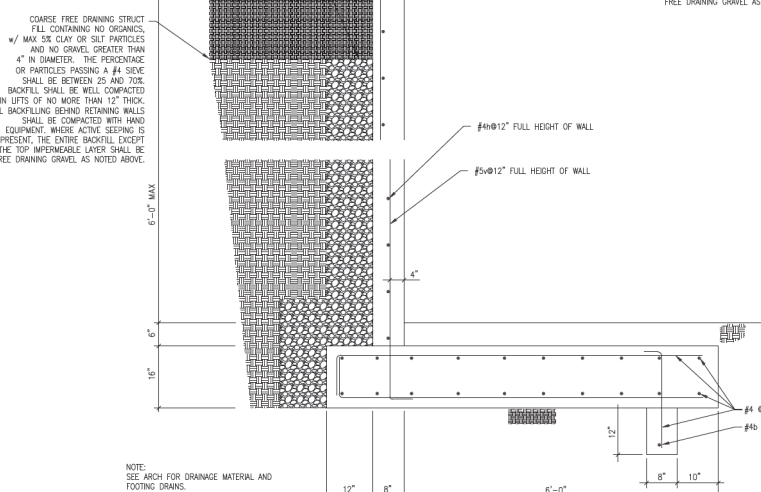
5 TYP PIPE PILE DETAILS
 S3.2 SCALE: 3/4" = 1'-0"



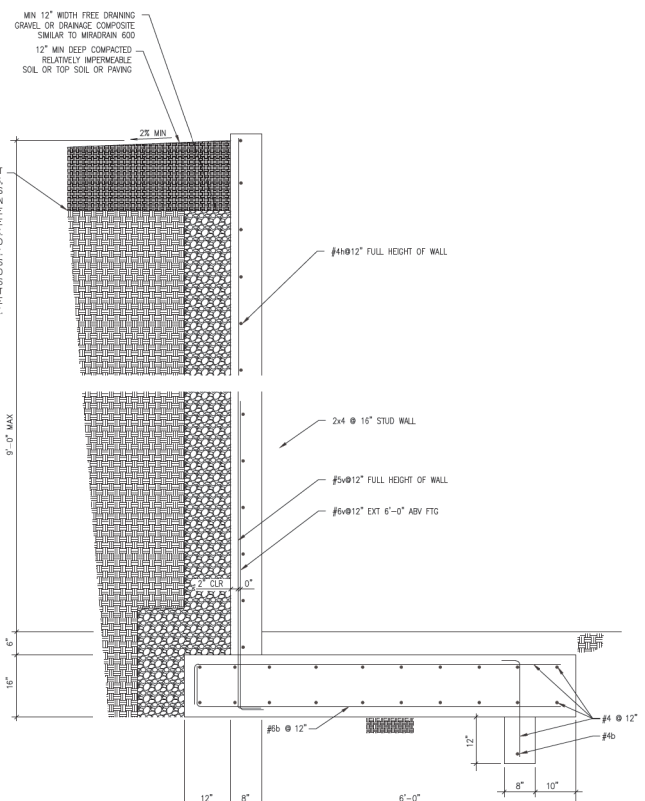
15 SECTION
 S3.2 SCALE: 3/4" = 1'-0"



20 SECTION



19 SECTION



COARSE FREE DRAINING STRUCT
 FILL CONTAINING NO ORGANICS,
 w/ MAX 5% CLAY OR SILT PARTICLES
 AND NO GRAVEL GREATER THAN
 4" IN DIAMETER. THE PERCENTAGE
 OR PARTICLES PASSING A #4 SIEVE
 SHALL BE BETWEEN 25 AND 70%.
 BACKFILL SHALL BE WELL COMPACTED
 IN LIFTS OF NO MORE THAN 12" THICK.
 ALL BACKFILLING BEHIND RETAINING WALLS
 SHALL BE COMPACTED WITH HAND
 EQUIPMENT, WHERE ACTIVE SETTING IS
 PRESENT, THE ENTIRE BACKFILL EXCEPT
 THE TOP IMPERMEABLE LAYER SHALL BE
 FREE DRAINING GRAVEL AS NOTED ABOVE.

17 SECTION

GARY GILL SE
 1125 NE 15TH STREET
 SHORELINE, WA 98155
 PH: 206-993-2739
 GLL2698@YAHOO.COM

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PROJECT:
 BIRD McDONALD RESIDENCE
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 PAUL McDONALD & CARLY BIRD-VOGEL
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SET 09/21/2021
 PERMIT COMMENTS 03/22/2022
 PERMIT COMMENTS II 03/28/2022
 SLOPE STABILITY REVISION 05/26/2022

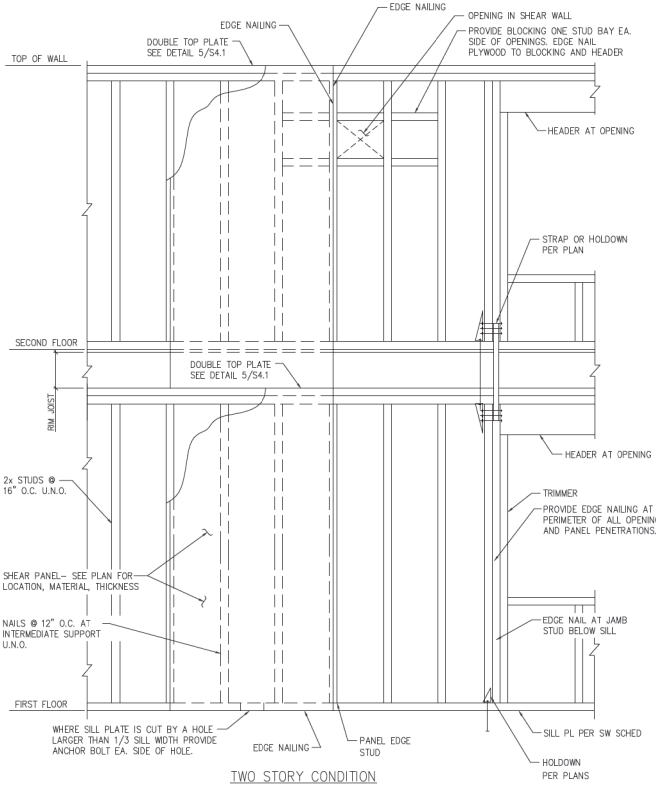


DATE:
 21 SEPT 2021

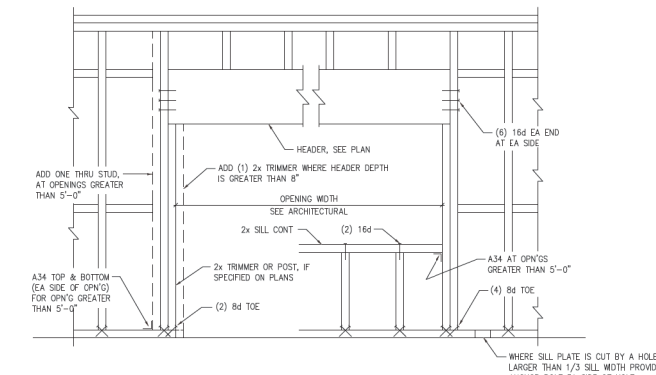
SHEET TITLE:
 FOUNDATION

SECTIONS

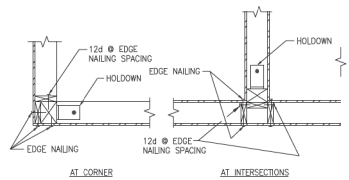
SHEET:
 S3.2



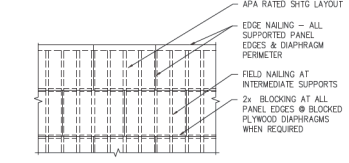
1 SHEAR WALL ELEVATION
S4.1 SCALE: 3/4" = 1'-0"



2 HEADER CONNECTION DETAIL
S4.1 SCALE: 3/4" = 1'-0"

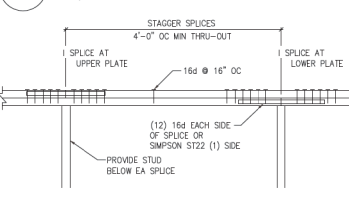


3 HOLDDOWN PLAN VIEWS
S4.1 SCALE: 3/4" = 1'-0"



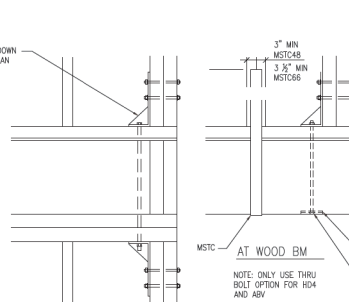
- NOTES:
1. MIN EDGE DISTANCE FOR NAILS SHALL BE 3/8".
 2. MIN SHEATHING SHEET SIZE SHALL BE 2'-0" x 4'-0".
 3. NAILS SHALL NOT BE OVERDRIVEN.
 4. NALS SHALL BE COMMON WIRE TYPE OR APPROVED EQUAL.
 5. SEE PLANS FOR AREAS OF BLOCKED DIAPHRAGMS

4 SHEATHED DIAPHRAGM CONSTRUCTION
S4.1 SCALE: 3/4" = 1'-0"



ELEVATION

5 DBL TOP PLATE SPLICE
S4.1 SCALE: 3/4" = 1'-0"



6 HOLDDOWN DETAILS
S4.1 SCALE: 3/4" = 1'-0"

HOLD DOWN SCHEDULE

MARK	HOLDOWN	ANCHOR BOLTS	STUD FASTENERS	MIN POST REQUIRED	ALLOWABLE TENSION (lbs)	
					DOUG-FIR	
HD1	MST1	18-148x1 1/2" EA END	18-148x 1/2" EA END	(2) 2x	3808	-
HD2	HDU2-SDS2.5 OR MSTC48B3 @ WD BM BEL	3/8" MB FLR TO FLR SSTB16L @ CONC WALL OR FTG	6-SDS 3/4"x29 @ HDU2 3/8-10d @ MSTC	(2) 2x	3075	-
HD3	HDU4-SDS2.5 OR MSTC66B3 @ WD BM BEL	3/8" MB FLR TO FLR SB8x24 @ CONC WALL OR FTG	10-SDS 3/4"x29 @ HDU4 3/8-10d @ MSTC	(2) 2x	4565	-
HD4	HDU5-SDS2.5	3/8" MB FLR TO FLR SB8x24 @ CONC WALL OR FTG	20-SDS 3/4"x29	(2)2x6	5645	-
HD5	HDU8-SDS2.5	3/8" MB FLR TO FLR SB8x24 @ CONC WALL OR FTG	20-SDS 3/4"x29	4x6	6970	-
				6x6	7870	-
HD6	HDU14-SDS2.5	1" MB FLR TO FLR SB1x30 @ CONC WALL OR FTG	36-SDS 3/4"x29	6x6	14445	-

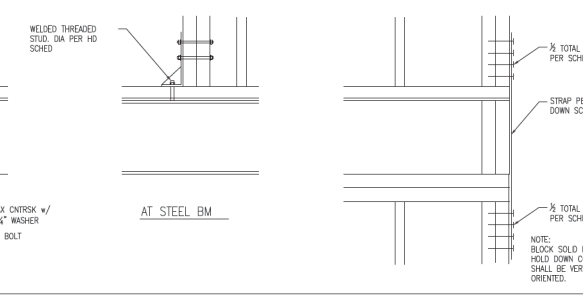
- HOLD DOWN NOTES:
1. HOLD DOWNS ARE REQUIRED AS SHOWN ON THE FRAMING PLANS.
 2. AT CORNERS COMMON TO TWO SHEAR WALLS USE THE LARGER OF THE HOLD DOWNS ONLY.
 3. ALL HOLD DOWN COLUMNS SHALL BE OF.
 4. HOLD DOWN ANCHOR BOLTS THAT OCCUR ABOVE A WF BEAM SHALL BE WELDED DIRECTLY TO THE WF BEAM BELOW SO THAT THE FULL CAPACITY OF THE ANCHOR BOLT IS DEVELOPED.
 5. ALL HOLD DOWNS SHALL BE CONNECTED TO POSTS BELOW AND A BEAM BELOW. SEE 6/- FOR DETAILS.
 6. ALL CALCULUS REFER TO SIMPSON STRONGTIE PRODUCTS. OTHER MANUFACTURED HOLD DOWNS MAY BE SUBSTITUTED PROVIDED THAT TESTING DATA IS PROVIDED TO VERIFY THAT THE VALUES LISTED WILL BE MET OR EXCEEDED.

SHEAR WALL SCHEDULE

MARK	APA RATED SHEATHING	NAILING AT PANEL EDGES	PANEL EDGE STUD AND BLOC	RM JOIST OR BLOC CONNECTION TO TOP PLATE	HEM-FIR (NORTH), BOTTOM PLATE ATTACHMENT TO WOOD BELOW	HEM-FIR (NORTH), SILL PLATE ATTACHMENT		CAPACITY (kF)
						ANCHOR BOLT	SILL	
SW1	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 6" OC	2X	A35 @ 16" OC	(2) 16d @ 16" OC OR 5/8" LAG SCREWS @ 32" OC	3/4" @ 48" OC OR @ MIN 3X 0.177# PAF @ 6"	2X MIN	310
SW2	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 4" OC	3X MIN	A34 AND LTP4 @ 16" OC	(2) 16d @ 8" OC OR 5/8" LAG SCREWS @ 16" OC	3/4" @ 24" OC	3X MIN	460
SW3	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 3" OC	3X MIN	A35 AND LTP4 @ 16" OC	5/8" LAG SCREWS @ 12" OC	3/4" @ 18" OC	3X MIN	600
SW4	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 2" OC	3X MIN	A35 AND LTP4 @ 16" OC	5/8" LAG SCREWS @ 8" OC	3/4" @ 12" OC	3X MIN	770
SW5	15/32" PLYWOOD SHEATHING, TWO SIDES	10d @ 3" OC	3X MIN	A35 AND LTP4 @ 8" OC	5/8" LAG SCREWS @ 4" OC	3/4" @ 8" OC	3X MIN	1200
SW6	SMP WOOD SHEAR WALL WSK247	NA	NA	PER SIMPSON	PER SIMPSON	PER SIMPSON	PER SIMP	2770

- SHEAR WALL NOTES:
1. INSTALL PANELS EITHER HORIZONTALLY OR VERTICALLY.
 2. WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE STAGGERED SO THAT JOINTS ON OPPOSITE SIDES ARE NOT LOCATED ON THE SAME STUDS.
 3. BLOCKING IS REQUIRED AT ALL PANEL EDGES.
 4. PROVIDE SHEARWALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF WALLS INDICATED ON PLAN.
 5. INTERMEDIATE FRAMING TO BE WITH 2X MINIMUM MEMBERS.
 6. PROVIDE ROT-DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.
 7. WHERE BOTTOM PLATE ATTACHMENT SPECIFICS (2) ROWS OF NAILS, PROVIDE DOUBLE JOIST, RM OR EQUAL, ATTACH PER DETAILS.
 8. ALL SHEAR WALL FRAMING TO BE OF: NO OTHER SPECIES ALLOWED.

SHEAR WALL & HOLD DOWN SCHEDULES
NO SCALE



GARY GILL SE
1125 NE 150th STREET
SHORELINE, WA 98155
PH: 206.992.2720
GILL25998@AOL.COM

DATE: 02/28/22



PROJECT:
BIRD MCDONALD RESIDENCE
4304 E MERCER WAY
MERCER ISLAND, WA 98040

CLIENT:
PAUL MCDONALD & CARLY BIRD-VOGEL
4304 E MERCER WAY
MERCER ISLAND, WA 98040

ISSUE:
PERMIT SET
PERMIT COMMENTS
PERMIT COMMENTS II

09/21/2021
03/22/2022
03/28/2022

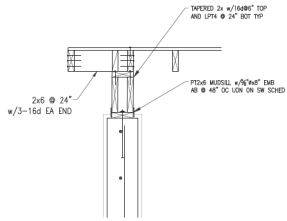


DATE:
21 SEPT 2021

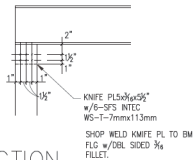
SHEET TITLE:
TYP FRAMING DETAILS

SHEET:

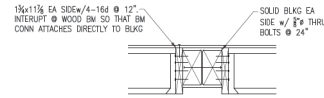
S4.1



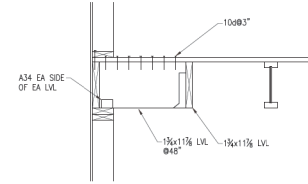
5 SECTION
S4.2 SCALE: 3/4" = 1'-0"



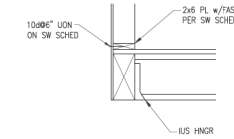
4 SECTION
S4.2 SCALE: 3/4" = 1'-0"



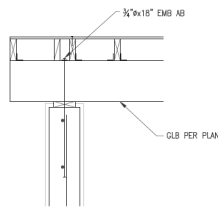
3 SECTION
S4.2 SCALE: 3/4" = 1'-0"



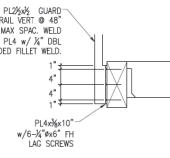
2 SECTION
S4.2 SCALE: 3/4" = 1'-0"



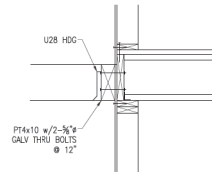
1 SECTION
S4.2 SCALE: 3/4" = 1'-0"



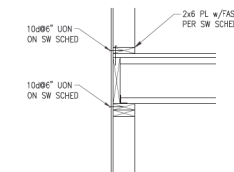
10 SECTION
S4.2 SCALE: 3/4" = 1'-0"



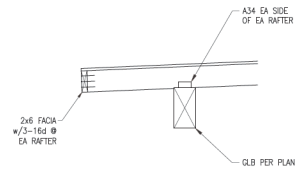
8 SECTION
S4.2 SCALE: 3/4" = 1'-0"



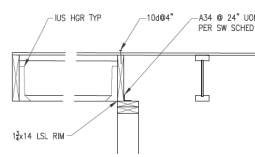
7 SECTION
S4.2 SCALE: 3/4" = 1'-0"



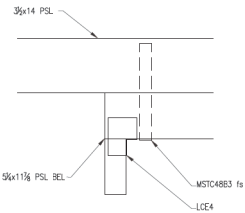
6 SECTION
S4.2 SCALE: 3/4" = 1'-0"



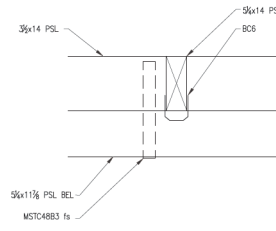
15 SECTION
S4.2 SCALE: 3/4" = 1'-0"



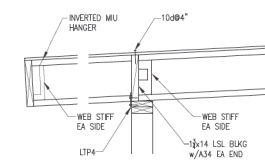
14 SECTION
S4.2 SCALE: 3/4" = 1'-0"



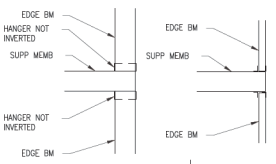
13 SECTION
S4.2 SCALE: 3/4" = 1'-0"



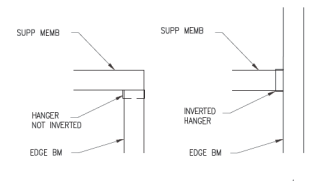
12 SECTION
S4.2 SCALE: 3/4" = 1'-0"



11 SECTION
S4.2 SCALE: 3/4" = 1'-0"



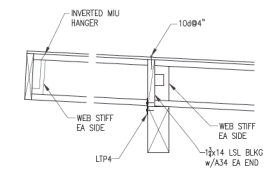
20 SECTION
S4.2 SCALE: 3/4" = 1'-0"



16 SECTION
S4.2 SCALE: 3/4" = 1'-0"



17 SECTION
S4.2 SCALE: 3/4" = 1'-0"



18 SECTION
S4.2 SCALE: 3/4" = 1'-0"

AS SHOWN ON PLAN
 A INTERMEDIATE
 B CORNER
 C CANTILEVER

GARY GILL SE
 1125 NE 153RD STREET
 SHORELINE, WA 98155
 PH: 206-992-2729
 GILL2698@YAHO.COM

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PROJECT:
 BIRD McDONALD RESIDENCE
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

CLIENT:
 PAUL McDONALD & CARLY BIRD-VOGEL
 4304 E MERCER WAY
 MERCER ISLAND, WA 98040

ISSUE:
 PERMIT SET
 PERMIT COMMENTS I
 PERMIT COMMENTS II

09/21/2021
 03/22/2022
 03/28/2022



DATE:
 21 SEPT 2021

SHEET TITLE:
 FRAMING DETAILS

SHEET:
 S4.2

EXHIBIT – C

From: Linda Pineau <linda.pineau@mercerisland.gov>
Sent time: 06/10/2022 01:16:04 PM
To: Karen Kline <karen@mccarch.com>
Subject: APPROVED PERMIT – 4304 E MERCER WAY – 2110-247
Attachments: 2110-247-INVOICE.pdf

'aOHI Karen,
'aO

Your building permit is approved. 'aO City Hall is currently closed. Permit payment and issuance will be handled electronically. 'aO

'aO

PERMIT FEE INVOICE:

Please see attached invoice for fees that are due prior to issuance. 'aO

'aO

FEE PAYMENT INSTRUCTIONS:

Due to the COVID-19 outbreak our offices are currently closed to the public. 'aO Payments are now accepted via Electronic Funds Transfer at the City's Payment Portal. 'aO This is the only payment option currently available. 'aO

'aO

1. To access the portal click the following link: 'aO [Payment Portal](#)
2. Select "Building Related Fees"
3. Enter your contact information, permit number, and the payment amount

. Your permit number: **2110-247**

a. Your payment amount: **\$30,198.63** (do not include a comma when you enter the number)

4. Follow the prompts to make the payment using your bank routing information

Once the fee is paid, the Customer Service Team will contact you within 1-3 days with next steps for permit issuance. 'aO Permits will be made active once all outstanding items have been addressed and permit documents have been signed and returned to us via email. 'aO Please see notes below regarding any other outstanding items.

'aO

'aO

OUTSTANDING ITEMS:

'aO 'aO

1. ELECTRICAL CONTRACTOR INFORMATION

Electrical Contractor information must be verified prior to permit issuance. 'aO Please email Electrical Contractor Name, Washington State Contractor's License or UBI number, and Mercer Island Business License Number to epermit.tech@mercergov.org. 'aO We will verify that they have a State Electrical Contractor's License and an active [City of Mercer Island Business License](#) and add the information to your permit.

'aO

1. PLUMBING CONTRACTOR INFORMATION

New state law that went into effect on January 1 requires that Plumbing Contractor information be verified prior to permit issuance. 'aO Please email Plumbing Contractor Name, Washington State Contractor's License or UBI number, and Mercer Island Business License Number to epermit.tech@mercergov.org. 'aO We will verify that they have State Plumbing 'aO Contractor's License and an active [City of Mercer Island Business License](#) and add the information to your permit.

Let me know if you have questions.

Thank you,
Linda

*****Please include permit number for reference*****

Linda Pineau

Permit Services Manager
City of Mercer Island - Community Planning & Development
206.275.7715 | mercerisland.gov/cpd |

Notice: Emails and attachments may be subject to disclosure pursuant to the Public Records Act (Chapter 42.56 RCW)

Due to the regional COVID-19 outbreak many City of Mercer Island staff are now working remotely. Responses to emails and phone calls may take additional times as we have modified our operations. Thank you for your patience.

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercergov.org

INVOICE DATE 6/10/2022



PERMIT TYPE	PERMIT NUMBER	FEE
Building		
Impact Fees		
Demo		
Right of Way		
Water Meter		
Side Sewer - Disconnect		
Side Sewer - Connect		
Site Development		
Stormwater		
Temporary Power		
Plumbing Irrigation		
Tree		
OTHER FEE TYPES	BILLING CODE	FEE
Hold Harmless Recording Fee	3035	
New Business License	1001	
Business License Renewal	1003	
	TOTAL	

PROVIDE THE FOLLOWING PRIOR TO PERMIT ISSUANCE:

Checked box indicates item is still outstanding

- General Contractor Information - Provide Name, State Contractor's License, and City Business License Number
- Electrical Contractor Information - Provide Name, State Contractor's License, and City Business License Number
- Notarized Hold Harmless Document – Provide original hard copy. Notaries are available at City Hall
- Impact Fees – As noted above or provide approved Impact Fee

ADDITIONAL NOTES:

- Permit applications expire 18 months from the date of complete application. Permits must be paid in full and issued prior to the application expiration date.
- Fees listed above reflect fee rates for the current year. Fee rates will increase as of January 1 and will be adjusted accordingly if the above permits are not paid in full and issued by December 31.
- Contact Customer Service with Questions at 206-275-7605.

EXHIBIT – D

From: Linda Pineau <linda.pineau@mercerisland.gov>
Sent time: 06/10/2022 01:41:54 PM
To: skstrong@bs-s.com
Subject: Building Application Permit Number 2110-247

This is notice that the building permit application **2110-247**, which is associated with site address **4304 E Mercer Way**, has been approved and the permit is now ready to be issued.

'a0

Please call us at (206)275-7605 if you have any questions.

'a0

'a0

Sincerely,

'a0

Community Planning & Development
City of Mercer Island
9611 SE 36th Street
Mercer Island, WA 'a0 98040

EXHIBIT – E

From: Steve Strong <skstrong@bs-s.com>
Sent time: 07/11/2022 02:11:48 PM
To: Linda Pineau <linda.pineau@mercerisland.gov>
Subject: RE: Building Application Permit Number 2110-247

Ms. Pineau – I found that I was unable to drop off the notice of appeal because the planning office is closed. I mailed one on Friday and I enclose a pdf as well. Please tell me if I should do anything else today to provide notice. Steve Strong

[2790_001.pdf](#)

From: Linda Pineau <linda.pineau@mercerisland.gov>
Sent: Friday, June 10, 2022 1:42 PM
To: Steve Strong <skstrong@bs-s.com>
Subject: Building Application Permit Number 2110-247

This is notice that the building permit application **2110-247**, which is associated with site address **4304 E Mercer Way**, has been approved and the permit is now ready to be issued.

'a0

Please call us at (206)275-7605 if you have any questions.

'a0

'a0

Sincerely,

'a0

Community Planning & Development
City of Mercer Island
9611 SE 36th Street
Mercer Island, WA 'a0 98040

EXHIBIT – F

From: Steve Strong <skstrong@bs-s.com>
Sent time: 07/11/2022 02:15:18 PM
To: Linda Pineau <linda.pineau@mercerisland.gov>
Subject: Appeal of permit No 2110-247
Attachments: 2790_001.pdf

Ms. Pineau -- I'm sorry the pdf did not go through with my earlier email. Here it is.

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercerisland.gov



CITY USE ONLY

PROJECT#	APPEAL#	FEE

Date Received:

APPEAL

Received By:

SITE ADDRESS OF PROPERTY WHERE THE DECISION IS BEING APPEALED:

4304 East Mercer Way, Mercer Island, WA 98040

PROPERTY OWNER NAME: Carly Bird-Vogel	ADDRESS: 4304 E. Mercer Way	PHONE: E-MAIL:
APPELLANT NAME (If different from property owner): Stephen Strong, Lorri Falterman	ADDRESS: 4314 E. Mercer Way	PHONE: E-MAIL: ljfalterman@gmail.com
APPELLANT ATTORNEY INFORMATION (if applicable): Stephen Strong	ADDRESS: 126 NW Canal St., Ste 100 Seattle, WA 98107	PHONE: 206-622-3536 E-MAIL: skstrong@bs-s.com

What is the decision that you are appealing? Include any applicable project file number.

Building permit application 2110-247

What are your reasons for appealing this decision? (Attach additional pages if necessary)

(You must indicate specifically that there were substantial errors, the decision is unsupported by the facts presented, the decision is in conflict with the standards for review of the action or there were irregularities in the procedure. Attachments or supporting information may be included.)

The approval is not supported by the facts and is in conflict with requirements of the city code. See attached letter dated Dec. 22, 2021.

What is the outcome or changes in the decision that you are seeking? (Attach additional pages if necessary)

Add conditions regarding access road as explained in the Dec. 22, 2021 letter.

Signature:

Date:

July 8, 2022

DAVID F. STOBAUGH
STEPHEN K. STRONG
JOHN L. LOESCH
Also admitted in Oregon & Alaska
ALEXANDER F. STRONG
Also admitted in Alaska

BENDICH, STOBAUGH & STRONG, P.C.

ATTORNEYS AT LAW
126 NW Canal Street, Suite 100
Seattle, Washington 98107

TELEPHONE
(206) 622-3536
FACSIMILE
(206) 622-5759
www.bs-s.com

December 22, 2021

Andrew Leon
City of Mercer Island
Community Planning & Development
9611 SE 36th Street
Mercer Island, WA 98040
andrew.leon@mercerisland.gov

VIA EMAIL

Re: Permit Application – 4304 East Mercer Way
File No. 2110-247

Dear Mr. Leon,

I am submitting these comments on behalf of my wife Lorri Falterman and myself, residents and owners of the property at 4314 East Mercer Way, adjacent to the 4304 project property to the East-NE. We have owned the 4314 property since 2004. Throughout that time Dale Vogel and Nancy Bird have held themselves out as the owners of 4304 as well as our next-door property, 4324 East Mercer Way, where they reside. They apparently own the 4304 property through a family LLC, and the applicant, Carly Bird-Vogel, is their daughter.

The issues all arise from development of the lot that is part of the complete redevelopment of the 4304 property. The issues arise because the original developer of this subdivision in the 1950s made some major errors. The private road was laid out as if the whole area were flat. Although on paper the road may have met the requirements for a private road in MI Muni. Code 19.09.040, the road was paved in a way that was both inconsistent with the road's layout and boundaries on the plat, and much narrower than required in portions. (See the two pages of the topographic and boundary survey submitted by the applicant.) The paved road also has an inexplicable error in a corner (just outside the NW corner of the 4304 lot), where the turn is a right angle on a narrow road with a turning radius that ordinary delivery trucks cannot manage.

The problems with the private road as it was paved are significant and make it dangerous. I know of several dangerous situations where a pedestrian had difficulty in avoiding harm from cars at the blind curve on the paved road on the West side of the 4304 property, especially in the dark. This also occurs with cars and trucks sometimes. I spoke with Dale Vogel several years ago about the need for safety improvements on the private road. He agreed there are problems and suggested they might be dealt with when the property was developed. But this did not occur; the plan for the 4304 project property instead makes the road safety problems indefinite or permanent by redeveloping the lot without improvement, rendering the possibility of future corrections or adjustments to the paved road for safety reasons.

In 2015 the City put a new water main under the private road and also tight-lined a storm runoff stream that connected to an underground storm sewer at the corner of the paved road near and outside of the NW corner of the 4304 project property. The City had a contractor repave the

road after the water main project, but apparently Dale Vogel paid the City's contractor something extra to widen the private road in front of his residence (*i.e.*, between his 4304 and 4324 properties) and place large rocks along the 4304 side of the paved portion of the road on the North and NE sides of the project property, some within the private road boundaries. The road repaving therefore did not fix the problems with the corner (at the NW corner of the project property) where it is too tight a turn for delivery trucks, and the repaved road remained outside the private road boundaries at the corner. The problem at the corner was aggravated by the City's contractor (apparently on behalf of Dale Vogel) putting in large rocks just inside that corner of the paved road, *i.e.*, within the private road boundaries and outside the boundary of the 4304 property. This had the effect of interfering with delivery trucks, making them run into the rocks. The large rocks have been pushed back several feet over time by the trucks hitting them, making them mostly out of the way now.

The plan for the 4304 property does not include any provisions for correcting the paved road corner to meet the municipal code requirements, or even for avoiding placement of obstructions such as large rocks within the private road boundaries. The plan should include paving that corner of the private road to meet its correct boundaries in the original development plan.

At least equally important is the dangerous blind curve in the paved road to the West of the 4304 property. The blind curve would not exist if the original development of the subdivision had been followed in the original plan given to the City by the developer. The 4304 project plan needs to include widening of the paved road to avoid the hazards caused by the blind curve, which exist only due to the road being out of compliance with the private road code provision cited above. Instead, the plan shows development ("disturbance") inside the road boundaries and outside the 4304 boundary (including a water meter) and shows a new retaining wall on the existing West slope that assumes the slope will not change.

While it is clear that the development of the 4304 property did not cause the original problems with the private road, except to some extent the turn at the NW corner of the property (as described above), the Municipal Code requirements for private roads should be applied to the 4304 development for several reasons:

- 1) the safety purposes of the Municipal Code provisions on private roads apply to this development, as well as those below it;
- 2) the 4304 property encompasses the majority of the linear feet of the whole Sandy Cove private road, and virtually all of the lower portion of this road, which Dale Vogel told me is separately owned from the upper portion; and
- 3) the original developer's failure to properly lay out the private road boundaries in accordance with the actual location of the private road should not be indefinitely continued by a complete redevelopment of the most important property along the road.

I don't know the terms of the contract among the owners of our private road, but it is possible that some costs such as new paving could be shared with other owners of the road. If the City

December 22, 2021

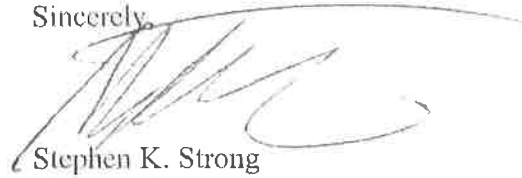
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were to insist that the entire private road be brought up to code as much as reasonably feasible, I think the property owners should all be expected to share in the costs.

About two or three years ago Dale Vogel had seven large Douglas firs (*i.e.*, more than two feet in diameter cut down to the ground level on the West side of the 4304 property as part of planning this development. (I do not see them mentioned in the arborist report, although the stumps remain there, covered by dirt.) I thought that was a good idea because it removed some potential impediments to improving the private road West of 4304 (some of the trees were within or near the private road boundary). But unfortunately that is not the case. Anyway, there should be replacement fir trees put on the 4304 property (and not within the private road boundaries).

I am available to show you the points I'm trying to put into words with an inspection of the property and also available to answer any questions, such as on matters on which I may be unclear.

Sincerely,

A handwritten signature in black ink, appearing to read 'Stephen K. Strong', with a large, sweeping flourish extending to the right.

Stephen K. Strong
skstrong@bs-s.com